

Planning & Development Brief

Ashfield Works, Westgate, Otley



City Development

September 2012

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1.0 INTRODUCTION

- 1.1 This brief advises on how best to achieve a sustainable redevelopment of the historic Ashfield Works site in Otley, a site which has a variety of employment and retail uses on it today but was once the Ashfield Iron Foundry, an engineering works of the late 19th and early 20th century, home to the world famous 'Wharfedale Press'.
- 1.2 This brief has been developed with the assistance of the 'Environment Group' of the Otley Town Partnership and provides a clear indication on the scope for change and the opportunities that exist.
- 1.3 It is particularly important that community engagement continues through to the pre-application stage and beyond. Potential developers must consult and engage with the community well in advance of the submission of a planning application (please refer to the Council's Statement of Community Involvement – www.leeds.gov.uk/planning).

2.0 THE ROLE OF THIS PLANNING BRIEF

- 2.1 This brief will be used to:
 - Guide any future development proposals, in terms of policies and the appropriate mix of acceptable uses;
 - Identify those buildings which should be conserved and advise on their re-use and restoration;
 - Identify the opportunities for appropriate new development;
 - Incorporate good urban design;
 - Recognise heritage issues;
 - Establish the site access requirements;
 - Involve and engage the community in the redevelopment – from development of this brief to pre-application discussions and beyond.

3.0 DEVELOPMENT OBJECTIVES

- 3.1 The development of the Ashfield Works site is a rare opportunity in Otley to promote the town as a vital and viable centre by encouraging a wide range of services in a quality environment which are accessible to all. It is also a major opportunity to promote design excellence, create and improve public space, protect and enhance the architectural, archaeological and historic heritage and provide an attractive and safe environment for business, shops and residential.

4.0 THE SITE AND ITS CONTEXT

- 4.1 Otley is a freestanding town that has retained its attractive stone-built historic core and a strong sense of place. Ashfield Works is situated within the western gateway to the town centre and is part of traditional Otley. It comprises a complex of one and two storey buildings between Westgate and

the River Wharfe. The buildings are of local stone and also brick. Some small-scale demolition has taken place.

- 4.2 The Falcon Club is not part of the site but developers are encouraged to enter into negotiations with the club to consider including and reconfiguring this use within any redevelopment scheme.
- 4.3 The Beech Hill car park is included in this site in order to maximise the regeneration benefit for Otley town centre. However, this can only be achieved by providing replacement car parking on the site.
- 4.4 **Plan 1** shows the location of the site within the context of Otley town centre.

Planning Policy

- 4.5 The Westgate frontage is within the defined town centre with the remainder of the site unallocated in the Unitary Development Plan Review (UDPR) and considered to be 'edge of centre' (**Plan 2** shows the site boundary including the town centre boundary).

Archaeological and Conservation Issues

- 4.6 The site lies within the Otley Conservation Area. Otley Conservation Area was extended and designated by Leeds City Council on 15 December 2003 following public consultation. On the same date Otley Conservation Area Appraisal was adopted by the City Council. Potential developers must refer to the Otley Conservation Area Appraisal. There are no listed buildings on this site but there are a number of buildings which are considered to make a positive contribution to the Conservation Area (see **Plan 3**).
- 4.7 The Conservation Area Appraisal alludes to Ashfield Works (the former Ashfield Foundry) which has been the subject of an industrial archaeology appraisal. It is of historic importance because of its association since 1854 with the printing industry and the Wharfedale Press. Its stone-built ranges have the characteristic scale, materials and detailing of the local vernacular, and make a positive visual, as well as historic, contribution to Otley Conservation Area. It refers to the site as offering a unique opportunity to bring forward a major riverside development opportunity, with a mix of conversion and new build adjacent to the river, and improved public access – subject to highway assessment and a planning and development brief. The Conservation area Appraisal can be viewed at www.leeds.gov.uk/planning.
- 4.8 An industrial archaeological appraisal has been undertaken and advice has been sought from the West Yorkshire Archaeological Advisory Service. They consider the site to be of local and regional importance as an exemplar of the type of specialist engineering works which made Otley of national significance as a centre of printing-press manufacture from the middle of the 19th century. Of seven such works in Otley at the end of the 19th century, the premises of only two are thought to have survived. The site is also of some historical importance as having housed the premises of the firm which perfected the

type of cylinder printing press which attained standard use throughout a large section of the printing industry in the late 19th and early 20th centuries. The works retains buildings from all periods of its operation and it will be important in any redevelopment of the site to maintain its architectural and archaeological integrity.

- 4.9 With the exception of the stand-alone 1901 box making shed and two 20th century brick built garages and adjacent 1937 timber shed on the east side of the site, all the standing buildings are marked as positive buildings in the Otley Conservation Area Appraisal. This means that they make a positive contribution to the special character of the conservation area. The Council will welcome innovative solutions for the positive re-use of buildings and walls on the site. There has been some localised fire damage to an area of the site but it is not envisaged that the damage caused is beyond repair. It is recognised that some demolition may be required to enable a viable new use for the site. In particular, the range of 1897 and 1902 north light buildings to the north of the site may be problematic to convert to a new use.
- 4.10 Provision must be made for the buildings to be subject to an appropriate level of archaeological and architectural recording prior to the commencement of any work on the site.

Otley Town Centre Action Plan

- 4.11 The Town Centre Action Plan was published in 2000 and the strategic aims for retail and commerce, environment and amenity and housing are still of particular significance.

Otley Riverside Study

- 4.12 The 'Vision for Otley's Riverside' is a statement of the community's aspirations and long term ambitions for the Otley riverside area. This document has been approved by Leeds City Council as informal planning guidance and seeks to guide and direct sustainable long term change in a positive and coordinated way. The Ashfield Works site is one of three key sites on Otley's riverside which are crucial to securing a sustainable future for the riverside.
- 4.13 In essence the riverside vision is to reconnect the river and the main retail centre to ensure that the riverside is once again regarded as a being part of a single, integrated town. This site provides an opportunity to extend the riverside walkway along the top of the river bank (see **Plan 3**).

Westgate Development Site

- 4.14 The Westgate development site that includes the Westgate long stay car park is located opposite Ashfield Works (see Plan 1). This site together with Ashfield Works provides an opportunity to improve pedestrian connectivity between the two sites (see **Plan 3**). Any loss of long stay car parking from

developing this site should be re-provided on a like for like basis. Early contact with the City Development is advised in order to discuss the latest position regarding the redevelopment of Westgate.

5.0 DEVELOPMENT POTENTIAL/USES

5.1 The Ashfield Works site offers a major opportunity to add to the vitality and viability of Otley town centre. Some of the site is within the UDPR defined town centre boundary but the majority of it lies outside.

5.2 The following mix of uses would be acceptable in principle. However, any town centre uses will need to be considered against the National Planning Policy Framework:

- Hotel
- Retail (residential above encouraged)
- Commercial Leisure (residential above acceptable)
- Office (residential above encouraged)
- Residential
- Public space
- Employment

6.0 DEVELOPMENT PRINCIPLES

6.1 Development proposals should take in to account the following:

- Enhance the vitality and viability of Otley town centre;
- Protect and enhance the special character of the Conservation Area;
- Retain, record and enhance the positive buildings on site (see Plan 3);
- Secure the efficient use of land and resources by maximising the re-use of existing buildings for development;
- Include high quality design– any proposals should be developed with full contextual analysis, i.e. development of design and access statements;
- Development should respect/reflect the human scale and positive character/features of the wider area – see Supplementary Planning Guidance Note 13 ‘Neighbourhoods for Living’;
- New buildings should be mainly two storeys with gable roof forms to respect the historic character and built form;
- New development of two storeys to infill the townscape gaps on Westgate to create an active positive frontage;
- The traditional character of the area should be respected – including, for example, the avoidance of pastiche ‘Victoriana’;
- Traditional materials of stone and natural slate will normally be required for any new build;
- The use of high quality, traditional local materials – such as Yorkshire setts, brick pavements and natural stone walling – will normally be expected for hard surfacing and boundary treatments;
- Existing historic (important) walls should be retained;

- Retain or re-provide the Beech Hill public car park in addition to any additional car parking required as part of the new development;
- Retain pedestrian connectivity between Westgate and Manor Park Garth and explore further opportunities to connect to Otley Town Centre and Otley riverside (including public access within the site along the top of the river bank);
- Explore the potential for cycle access through the site;
- Maximise the use of renewable energy sources, recycled materials and building materials from sustainable sources,

6.2 **Plan 3** is an Urban Design Framework drawing that has emerged from an in depth analysis of the site. It identifies the site's unique attributes, its negative features and development opportunities. This drawing should act as a basis to inform future redevelopment options for the site.

6.3 No development will be permitted on the site until a scheme for the conservation and reuse of the positive industrial buildings have been agreed and the building occupied.

7.0 LANDSCAPE

7.1 There are a number of key landscape and nature conservation principles important to the sustainable development of this site:

- Development proposals will need to ensure that views to the north of the site are respected and enhanced.
- The elevated position of the site relative to the adjacent river corridor and open countryside beyond means that this site is particularly sensitive in views into the site from the north. Any proposals to partially open up the river front to new development will need to take due account of the impact that this may have on such views.
- Existing vegetation on the northern boundary will need to be retained in large part and further enhanced.
- It is anticipated that development proposals will seek to retain existing trees on the eastern boundary of the site, for their amenity value and to assist in integrating new development into the existing townscape.
- The existing mature Horse Chestnut tree on the Westgate frontage is a prominent local landmark and if possible should be retained as part of development proposals. If retention should prove not to be achievable then suitable mitigation will need to be provided to offset the significant loss of amenity such removal would create.
- The Council will serve a Tree Preservation Order on the trees identified for protection (**Plan 4**). This will be served on the purchasers of the site at the time of transfer from Council ownership.

- Detailed vegetation and structural surveys will be required in support of development proposals in this area.
- Landscape design should seek to provide a strong setting for new development, and to integrate this into the wider urban/rural edge local context.
- With the northern part of the site abutting the Green Belt and River Wharfe any new planting should be locally native species.

8.0 NATURE CONSERVATION

8.1 The following principles are important for the sustainable development of this site:

River Corridor

- The river Wharfe is designated as a Site of Ecological or Geological Interest (SEGI) in the UDP Review.
- The river is the most natural and least polluted of the major rivers in West Yorkshire and it represents the most ecologically important major riverine habitat in the county. The designation includes the river and its banks and islands.
- Redevelopment of the site provides an opportunity to enhance the river corridor by retaining existing vegetation and providing additional planting where necessary.
- Lighting should be designed to illuminate the site and not to spill into the river corridor.

Protected Species

Bats

- there is a strong possibility of bats roosting on the site. A bat survey will be required.
- The bat survey report should include an impact assessment and recommendations for mitigation if bats are present. It should inform the design of the site and should be submitted with any planning application for development of the site.
- All species of bat in the UK and their roosts are protected under the Wildlife and Countryside Act 1981 (as amended) and the Conservation (Natural Habitats &c) Regulations 1994.

Otters

- It is possible that otters may use the river bank adjacent to the site and a survey for otter activity will be required.
- If otter activity is recorded the survey report should include recommendations for ensuring that the development does not result in disturbance to otters or their habitat. This should be submitted with a planning application.
- Otters are protected under the Wildlife and Countryside Act 1981 (as amended) and the Conservation (Natural Habitats &c) Regulations 1994.

Invasive Alien Species

- There is a stand of Japanese knotweed within the site adjacent to the LCC car park. A method statement for the control of this species will be required and this is likely to be a condition of any planning permission.
- Himalayan balsam is likely to be present on the river bank. A management plan is likely to be required for this area which should include the removal of this species.

8.2 The developer would be expected to provide a long term landscape and ecological management plan for the site.

9.0 HIGHWAY ACCESS AND PARKING

9.1 Any planning application will need to be accompanied by a full Transport Assessment or Transport Statement as the traffic generated by a proposal will be a key factor in determining the development potential of the site. The requirements for a Transport Assessment or Transport Statement will be subject to the scale and nature of any proposed development in accordance with 'Guidance on Transport Assessments 2007' produced by the Department of Transport.

9.2 Any planning application will need to be accompanied by a Travel Plan. The requirements for a Travel Plan will be subject to the scale and nature of any proposed development in accordance with the guidance given in the Leeds City Council's SPD 'Travel Plans'.

9.3 **Plan 3** indicatively shows how the site could be accessed. In this scenario, access to the site would be via one-way routes, i.e. entry 1 will be via Dawsons Yard, entry 2 will be in a similar position to the existing access to the Beech Hill public car park. Egress from the site would be provided by a two

lane signalised egress on to Westgate between 23 Westgate and the Club. The signal control will incorporate pedestrian facilities across Westgate.

- 9.4 Any off-site highway works will be the subject of an agreement under Section 278 of the Highways Act 1980.
- 9.5 The on-site highway layout must be designed and constructed in accordance with the Leeds City Council's Street Design Guide. There must be permeability through the site for pedestrians and cyclists, with convenient routes to local facilities and public transport to encourage sustainable transport modes
- 9.6 Any on site highway works to be adopted will be the subject of an agreement under Section 38 of the Highways Act 1980.
- 9.7 The site layout must include appropriate refuse storage and collection provision and the site must have turning facilities to accommodate all relevant vehicle types
- 9.8 An appropriate level of off street parking must be provided which must meet the guidelines of Leeds City Council's Street Design Guide (Method 1 or 2) for residential developments or Appendix 9A of the Unitary Development Plan Review for other uses.
- 9.9 Reconfiguring the Beech Hill public car park is an option which can be considered but no net loss of car parking provision would be acceptable. The car park will continue to be owned and managed by Leeds City Council.
- 9.10 Potential developers should consider imaginative car parking solutions, including the use of undercroft parking.
- 9.11 There should be appropriate provision for cycle parking, storage and changing facilities, with reference being made to 'Cycle Friendly Infrastructure' published by the Institution of Highways and Transportation, 1996 and in accordance with the advice contained in Appendix 9C of the Unitary Development Plan Review.
- 9.12 There will be a requirement to consult Metro to determine if any local bus stop improvements are necessitated by the development proposal. Any proposal will also be assessed in accordance with the guidance contained within the Leeds City Council's SPD 'Public Transport Improvements and Developer Contributions'. This assessment will establish whether or not a developer contribution will be required (and the appropriate level of contribution if one is required) to secure enhancements to public transport infrastructure in order to help address the travel impact of the proposed development. The focus being the need and opportunity for improved public transport with associated good quality waiting facilities.

10.0 PLANNING OBLIGATIONS

Affordable Housing

- 10.1 The development will be expected to meet the requirements of the Council's current affordable housing policy at the time of application. In accordance with UDPR policy, the provision of affordable housing will be required if 15 or more residential units are proposed. These should be incorporated within the development. The site lies within an area defined as the outer area/rural north and in accordance with the Council's Interim Affordable Housing Policy 2011 the affordable housing contribution is 35% to be split between 50% social rented and 50% sub market/intermediate. The details of the affordable housing policy can be found on the Council's website www.leeds.gov.uk.

Greenspace

- 10.2 The Council stresses the importance of providing on-site greenspace/ amenity space for new residential development and new residential development will be required to accord with policy N2 of the UDPR 2006.
- 10.3 The details of the Council's greenspace requirements are set out in the Supplementary Planning Guidance Note 4, "Greenspace Relating to New Housing Development."

Education

- 10.4 In line with the City Council's supplementary policy guidance - Section 106 Contributions for School Provision, an education contribution will be required if the development incorporates 50 residential units or more.

11.0 CONTAMINATION

- 11.1 The site is near to a closed landfill and the developer should be aware that if any closed/habitable structures were proposed a check for landfill gas would be necessary.

12.0 FLOOD PLAIN

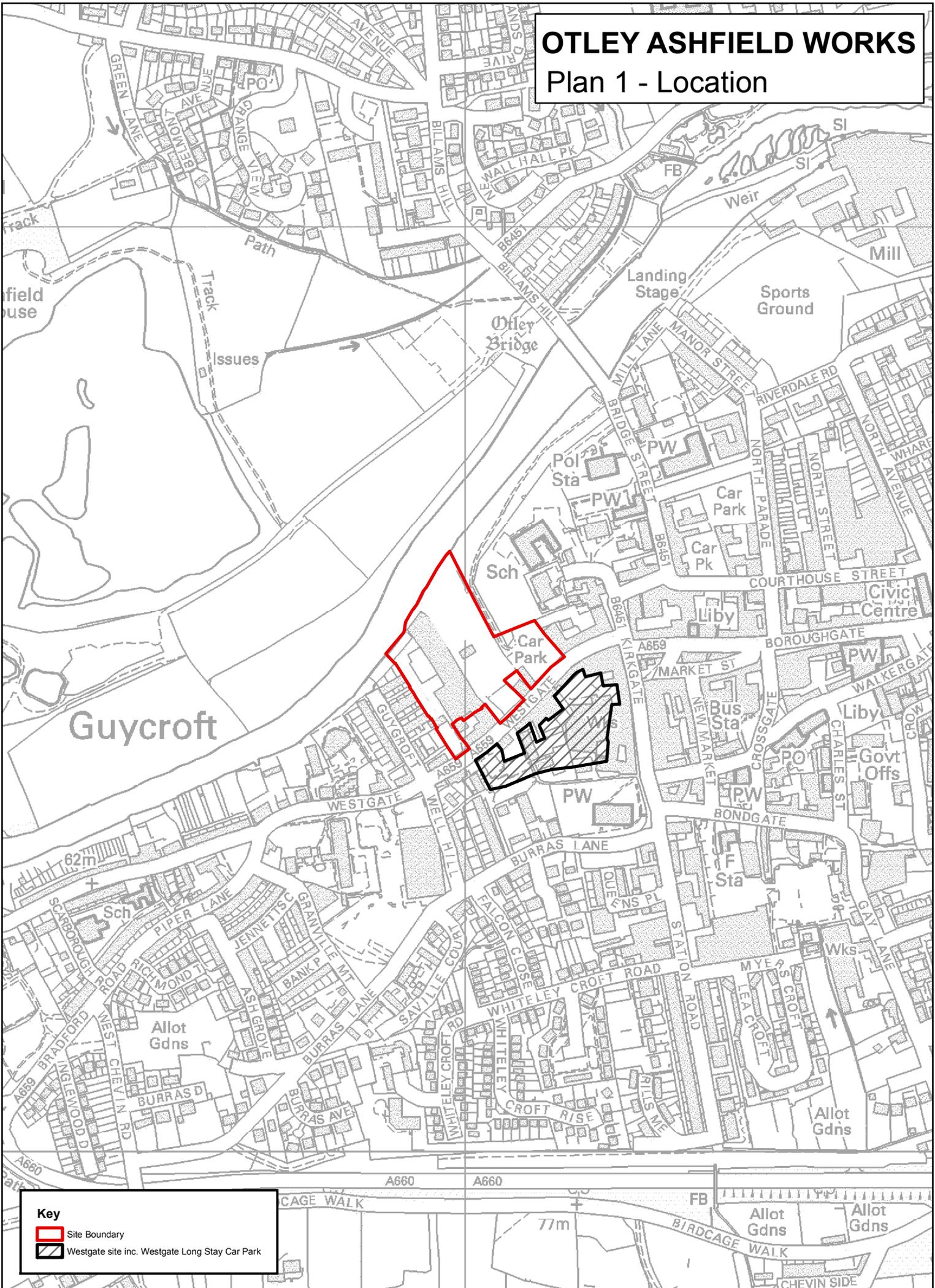
- 12.1 A small part of the site is within the Environment Agency 1 in 100 year flood plain zone (see **Plan 3**) which may have some constraints on development. Prospective developers should consult the Environment Agency for further information at an early stage.
- 12.2 It will be necessary to prepare a Flood Risk Assessment and a Drainage Impact Study. The design of the surface water drainage shall comply with and satisfy the Leeds City Council Land Drainage minimum flood risk standards

13.0 CONTACTS

- 13.1 Initial contact on any issue relating to this brief should be via Sarah Welsh, Senior Planning Policy Officer (Tel: 0113 2478088). City Development offers an integrated approach to dialogue with developers, which will co-ordinate all planning and related inputs.

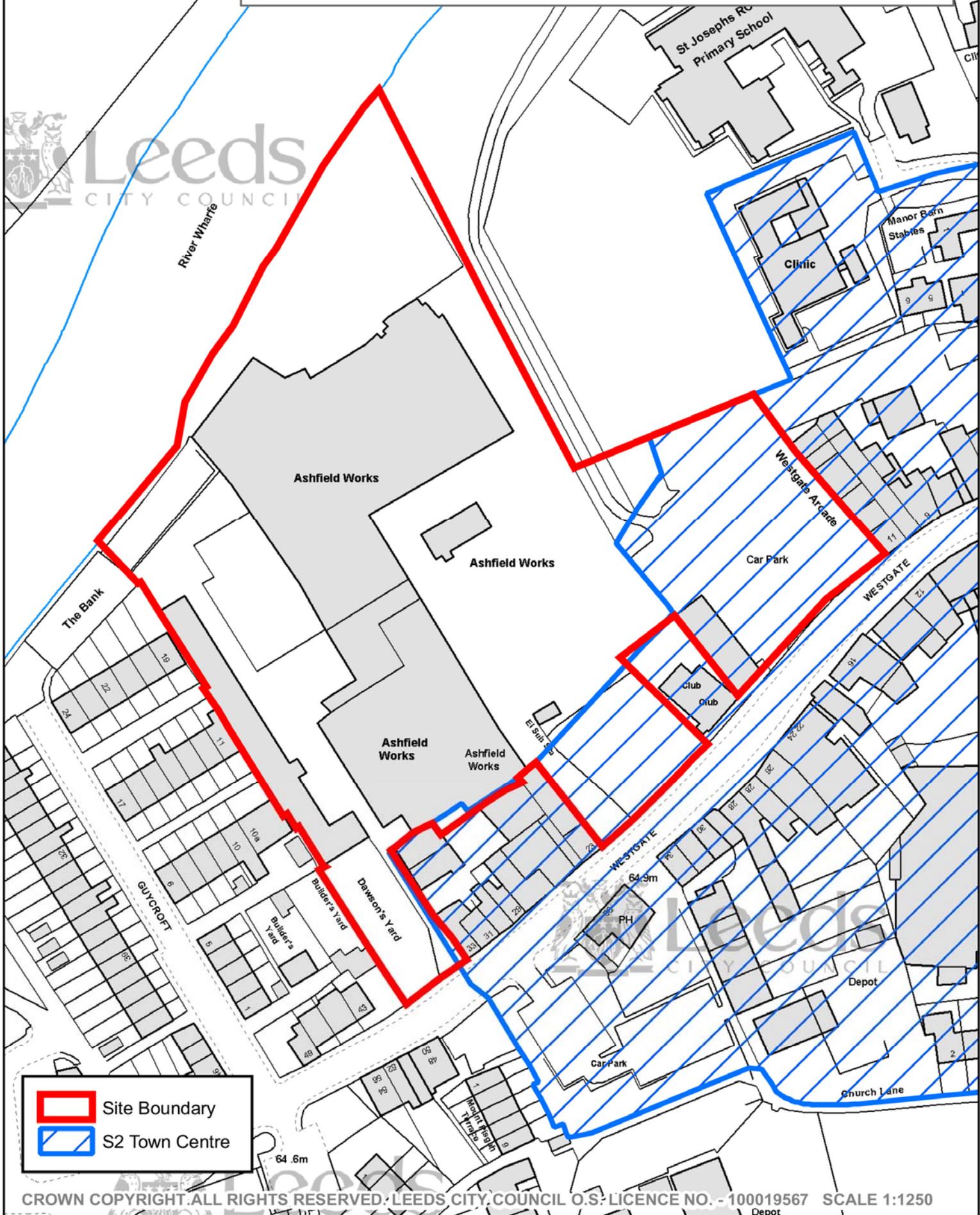
OTLEY ASHFIELD WORKS

Plan 1 - Location



OTLEY ASHFIELD WORKS

Plan 2 - SITE BOUNDARY inc TOWN CENTRE BOUNDARY



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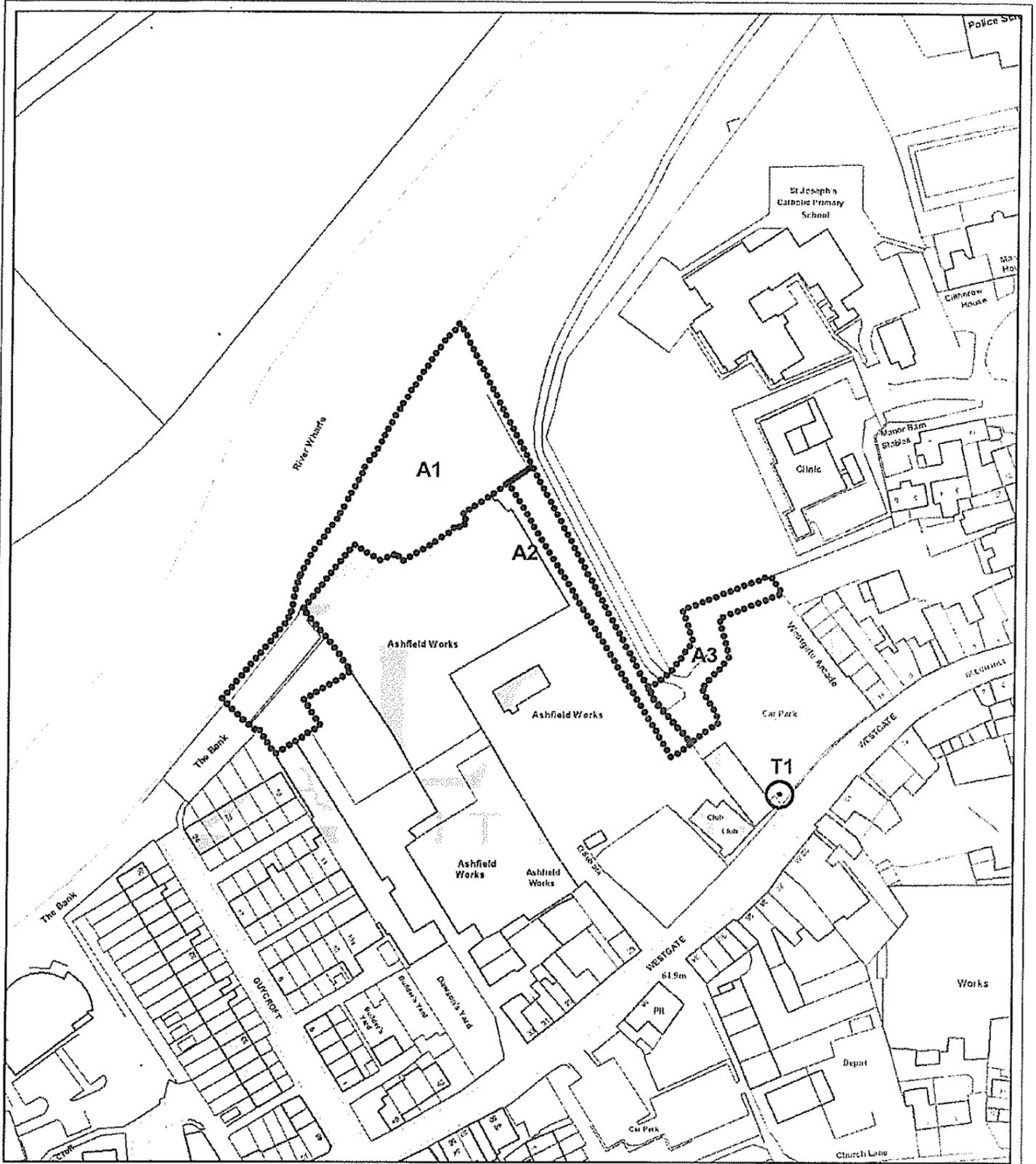
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Plan 3 - Ashfield Works, Otley. Urban Design Framework Drawing. (Rev 7. 220512).



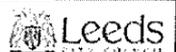
Plan 4 – Tree Preservation Order



TOWN AND COUNTRY PLANNING ACT 1990
SECTION 198
CITY OF LEEDS TREE PRESERVATION ORDER
(No.07) 2009
 Ashfield Works
 Westgate
 Otley

Plan No..... GIS 4570
 Prepared By..... JKS
 Checked By..... RD
 Scale..... 1/1500
 Date..... 06.04.2009
 O.S. Grid Reference.... SE 2045
 North..... 

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Appendix 1

1.0 LEGAL

- 1.1 The title to be conveyed is the freehold title and the deeds which refer to the City Council owned land may be inspected in the Civic Hall, Leeds. The Deeds indicate a right of access must be maintained along Dawson's Yard to the benefit of properties and land from 23 to 33 Westgate.
- 1.2 There are easements in place for existing drains and cables.
- 1.3 Dawson's Yard may require formal closure.

2.0 ENVIRONMENTAL CONSIDERATIONS

- 2.1 The northern tip of the site is in the flood plain of the river Wharfe and any development of the site should be preceded by a Flood Risk / Flood Impact Assessment to identify the risk of flooding of the redeveloped site and what impact the development would have on the existing flood plain. The need, if any, for flood protection or flood mitigation measures should be identified in the Assessments with appropriate recommendations for finished floor levels to reduce the risk of advertently flooding the redeveloped site.
- 2.2 Advice from the Environment Agency should be sought since the site is adjacent to a Main River with part of it in the 1 in 100 year flood plain.
- 2.3 Traffic count gives L10 18-hour 68 dB(A) contour 27.5m into the site boundary with Westgate.
- 2.4 The design and layout of the proposed scheme must take into consideration the surrounding existing developments, which include residential, commercial and industrial premises.

3.0 GEOTECHNICAL CONSIDERATIONS

- 3.1 It is the developer's responsibility to provide information on whether the site is contaminated and to prepare an outline of any required remedial proposals.
- 3.2 A statement detailing the necessary remedial works will be required.
- 3.3 A Technical Desk Top Study Report is available.

4.0 DRAINAGE

- 4.1 Plan No. 3097/1 shows the approximate position, size and depth and direction of flow of the existing public combined sewers within and in the general vicinity of the site.

- 4.2 No building must be constructed over or within 5 metres of a public sewer or any approved diversion thereof and no tree must be planted over or within 5 metres.
- 4.3 It may not be acceptable to raise or lower ground levels over a public sewer or to restrict access to the manholes thereon.
- 4.4 Applications for the diversion of public sewers under Section 185 of the Water Industry Act 1991 may be made in writing to Yorkshire Water. Further information can be obtained by contacting Yorkshire Water on 0114 251 8321.
- 4.5 Any new development of the site must have separate systems for foul and surface water drainage, both on and off site, with connections being made to the existing local public sewers network.
- 4.6 It must be noted that the local public surface water and combined sewers in the vicinity do not have the capacity to accept any additional surface water discharge from this site.
- 4.7 Requirement H3 of the Building Regulations 2000 establishes a preferred hierarchy for surface water disposal, with consideration given first of all to discharge to soakaway, infiltration system and watercourse.
- 4.8 Soakaways may be a suitable method of drainage, subject to testing and the approval of Leeds City Council. If after investigation, infiltration methods are found to be inappropriate then surface water may also be discharged to the local public sewer network. However to prevent overloading of the existing public sewers discharges of surface water will be restricted to the existing level of run-off. This must be achieved by an acceptable means of flow attenuation. It will be necessary to demonstrate the means of disposal to Yorkshire Water by means of investigation and calculation. This will be carried out at the expense of the developer. Alternatively, improvement works to the existing public sewer network may be carried out through the sewer requisition procedure.
- 4.9 Off site surface water sewers may be required to serve this proposed development which may be provided by the developer and considered for adoption under Section 104 of the Water Industry Act 1991. Further advice regarding sewer adoptions may be obtained by contacting Yorkshire Water on 0114 251 8322. Advice regarding provision of requisition off site sewers under Section 98 of the Water Industry Act 1991, for which an application must be made in writing, can be obtained by contacting Yorkshire Water on 0114 251 8229.
- 4.10 Sewers must be designed and constructed in accordance with the Water Research Centre publication "Sewers for Adoption - A Design and Construction Guide for Developers" - 5th Edition, as supplemented by Yorkshire Water's requirements pursuant to an agreement under Section 104 of the Water Industry Act 1991. An application to enter into a Section 104 agreement must be made in writing prior to any works commencing on site.

For further information contact the Development Team at Yorkshire Water (tel. 0114 251 8229 – Fax 0114 251 8384).

- 4.11 The public sewer network is for domestic sewerage purposes. This generally means foul water from domestic purposes and, where a suitable surface water or combined sewer is available, surface water from the roofs of buildings together with surface water from paved areas of land appurtenant to those buildings.
- 4.12 Land drainage must not be discharged to the public sewer network. Surface water run off from areas of vehicular parking and hardstanding etc. should pass through an oil/petrol/grit interceptor of an adequate design before any discharge to the public sewer network. Roof water should not pass through the traditional full retention type of interceptor. Any new connection to an existing public sewer will require the approval of Yorkshire Water. Application forms may be obtained by telephoning 0114 251 8321.
- 4.13 Complete records of private drainage systems are not kept and therefore it is advised that a survey of the locality be carried out.
- 4.14 Details of any off-site drainage works must be included in any planning application. Yorkshire Water's Industrial Waste Manager must be consulted in respect of any proposed trade effluent discharge to the public sewer.

5.0 STATUTORY SERVICES AUTHORITIES' PLANT

- 5.1 The approximate positions of the main services within and in the general vicinity of the site are shown on Plans 3097/1 to 5.
- 5.2 The positions of all services shown, which have been taken from the Services Authorities' records, are indicative and must be used only for planning purposes. Also their shown sequence may be incorrect and because of the scale of the plans there may be more individual services present than those indicated, i.e. the positions shown may indicate routes of multiple cables, service ducts etc.
- 5.3 Details of service connections are not generally known. It is the responsibility of the developer to obtain from the Statutory Service Authorities the precise and up to date location of all services.
- 5.4 If any service is encountered it is advised that contact is again made with the Statutory Service Authorities before further excavation takes place.
- 5.5 If it is necessary as part of the development of the land that any service requires diverting or lowering in order to provide access or for any other purpose then the cost of these works will be a charge to the developer.

**LEEDS CITY COUNCIL
ENGINEERING SERVICES**

**OTLEY
ASHFIELD WORKS**

**TECHNICAL INFORMATION
DRAWINGS**

DRAWING No

DRAWING TITLE

3097/1

PUBLIC SEWER

3097/2

WATER

3097/3

ELECTRICITY

3097/4

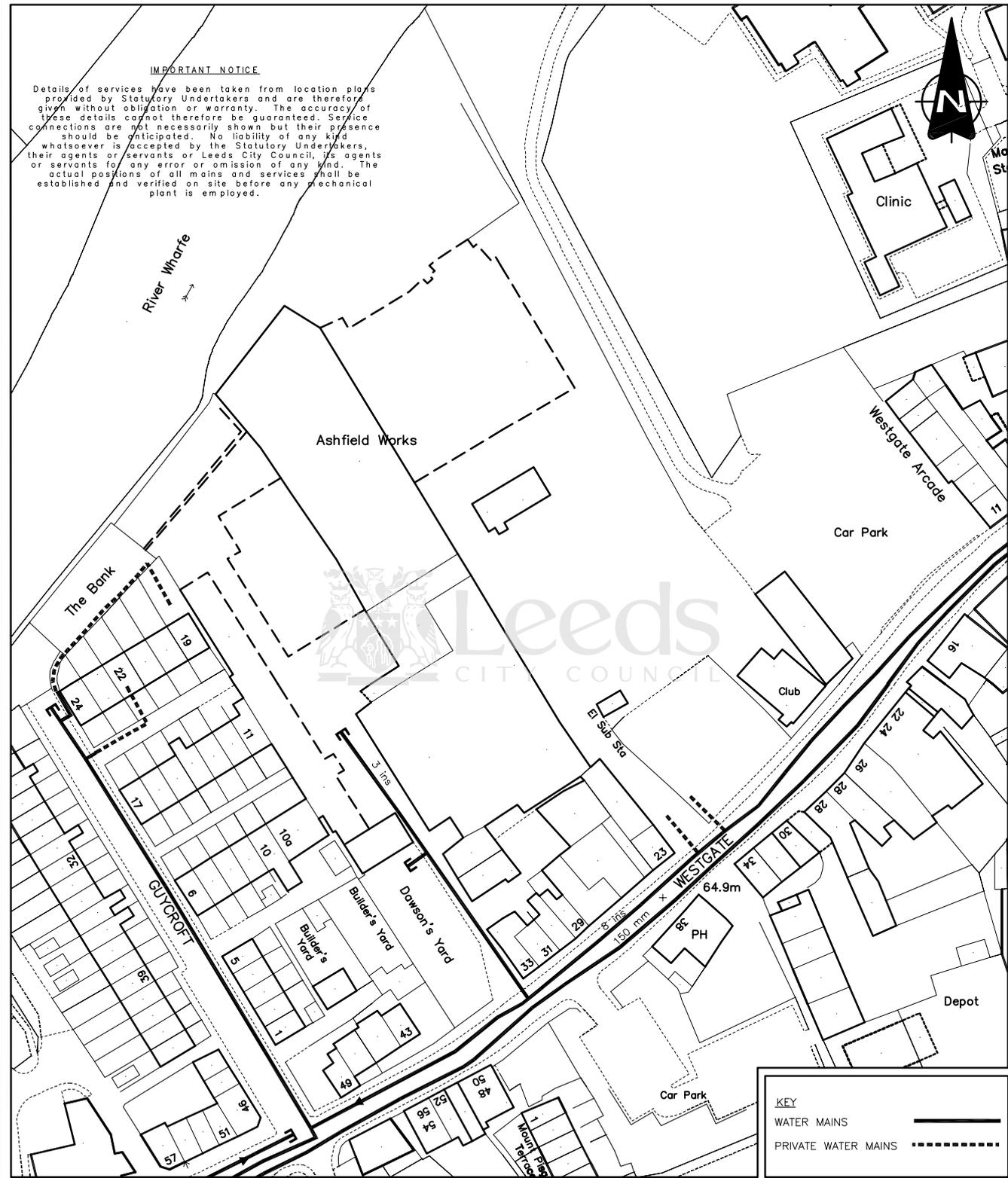
GAS

3097/5

BRITISH TELECOM

IMPORTANT NOTICE

Details of services have been taken from location plans provided by Statutory Undertakers and are therefore given without obligation or warranty. The accuracy of these details cannot therefore be guaranteed. Service connections are not necessarily shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by the Statutory Undertakers, their agents or servants or Leeds City Council, its agents or servants for any error or omission of any kind. The actual positions of all mains and services shall be established and verified on site before any mechanical plant is employed.



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**OTLEY: ASHFIELD WORKS
WESTGATE**

Plan No:
3097/2

Scale:
1:1250

O.S Sheet Ref:
SE1945NE/SE

Date:
April 2011

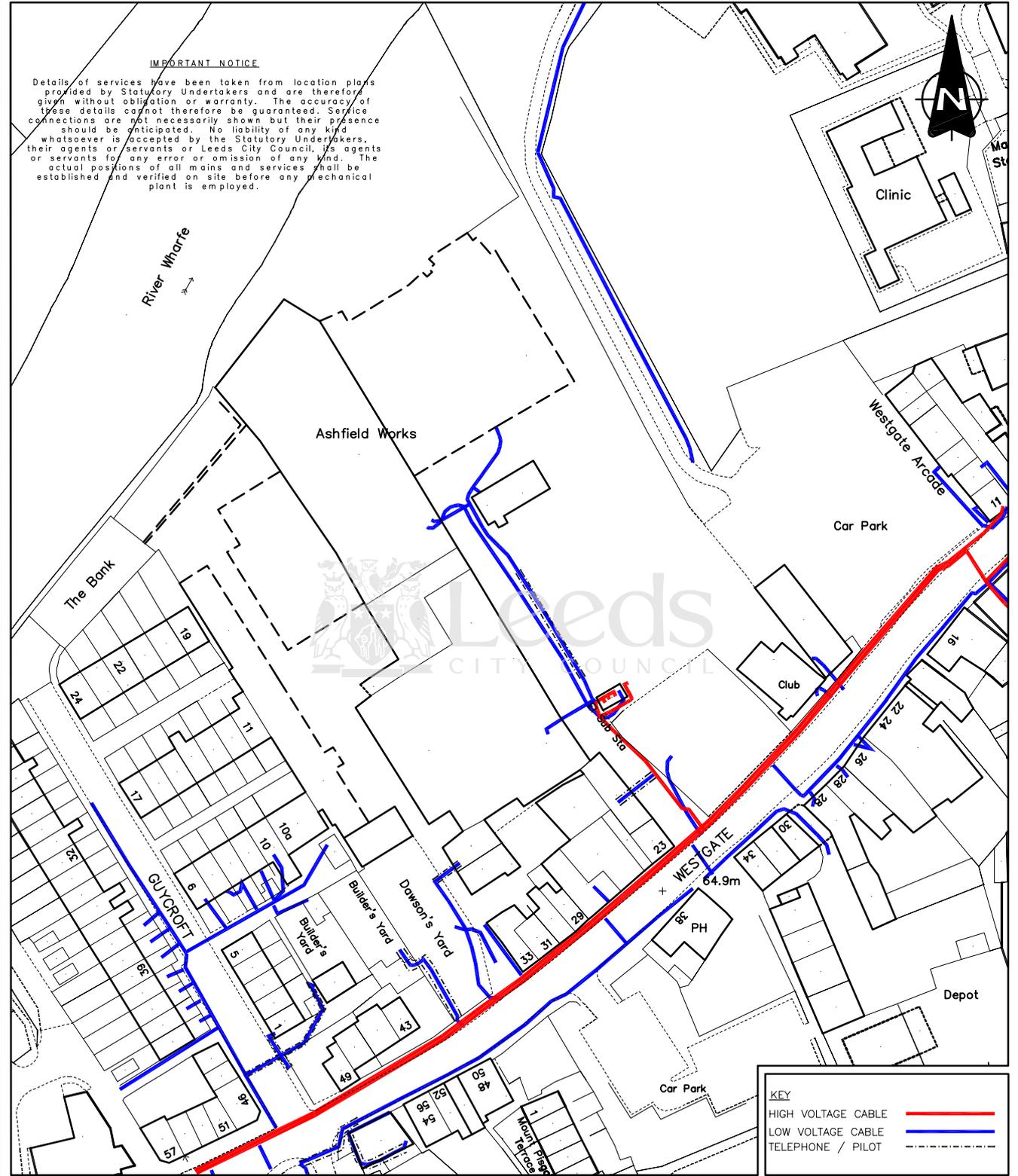


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HIGHWAYS AND TRANSPORTATION

WATER

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**OTLEY: ASHFIELD WORKS
WESTGATE**

Plan No:
3097/3

Scale:
1:1250

O.S Sheet Ref:
SE1945NE/SE

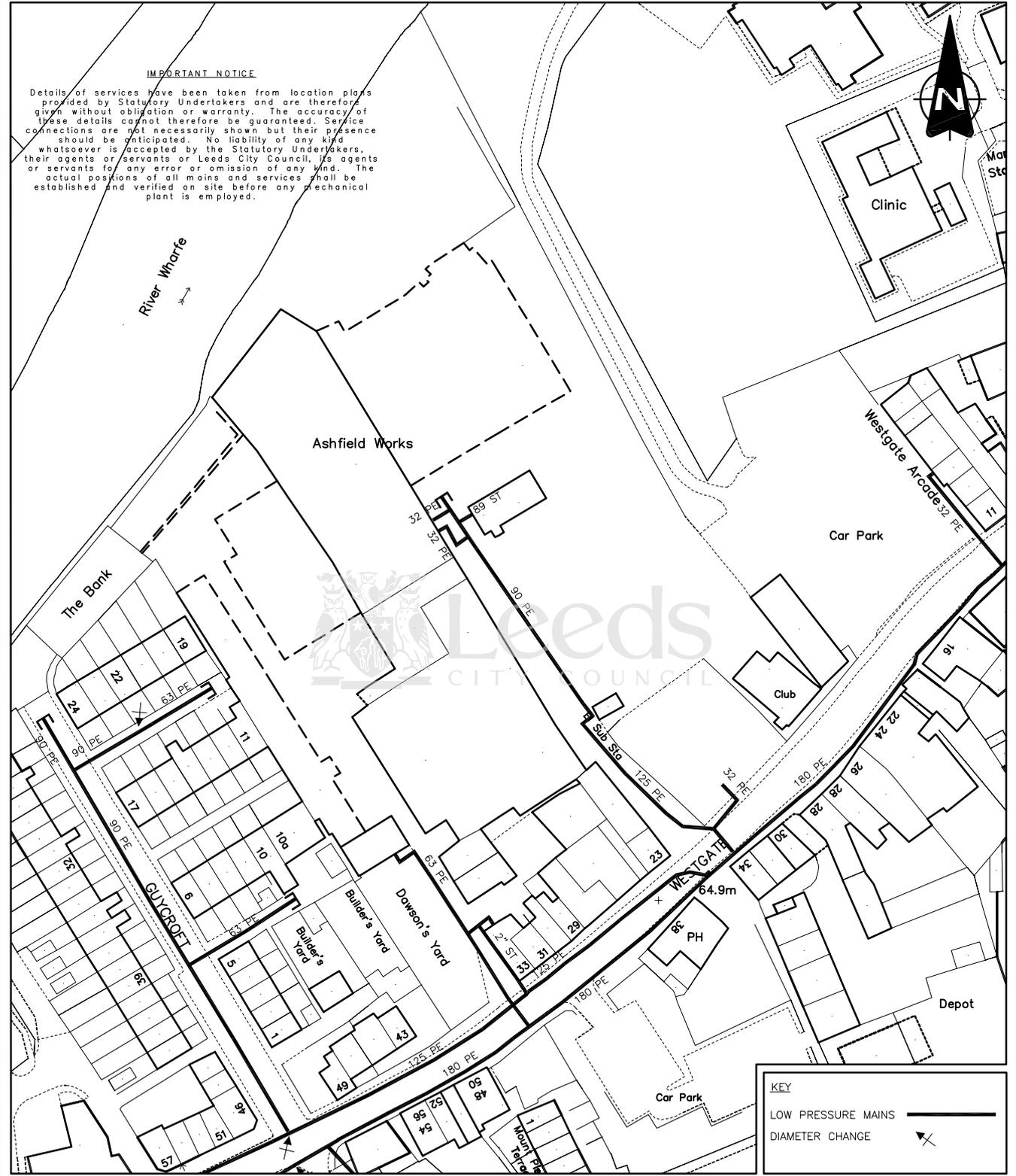
Date:
April 2011



Leeds
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HIGHWAYS AND TRANSPORTATION

ELECTRICITY



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**OTLEY: ASHFIELD WORKS
 WESTGATE**

GAS

Plan No:
3097/4

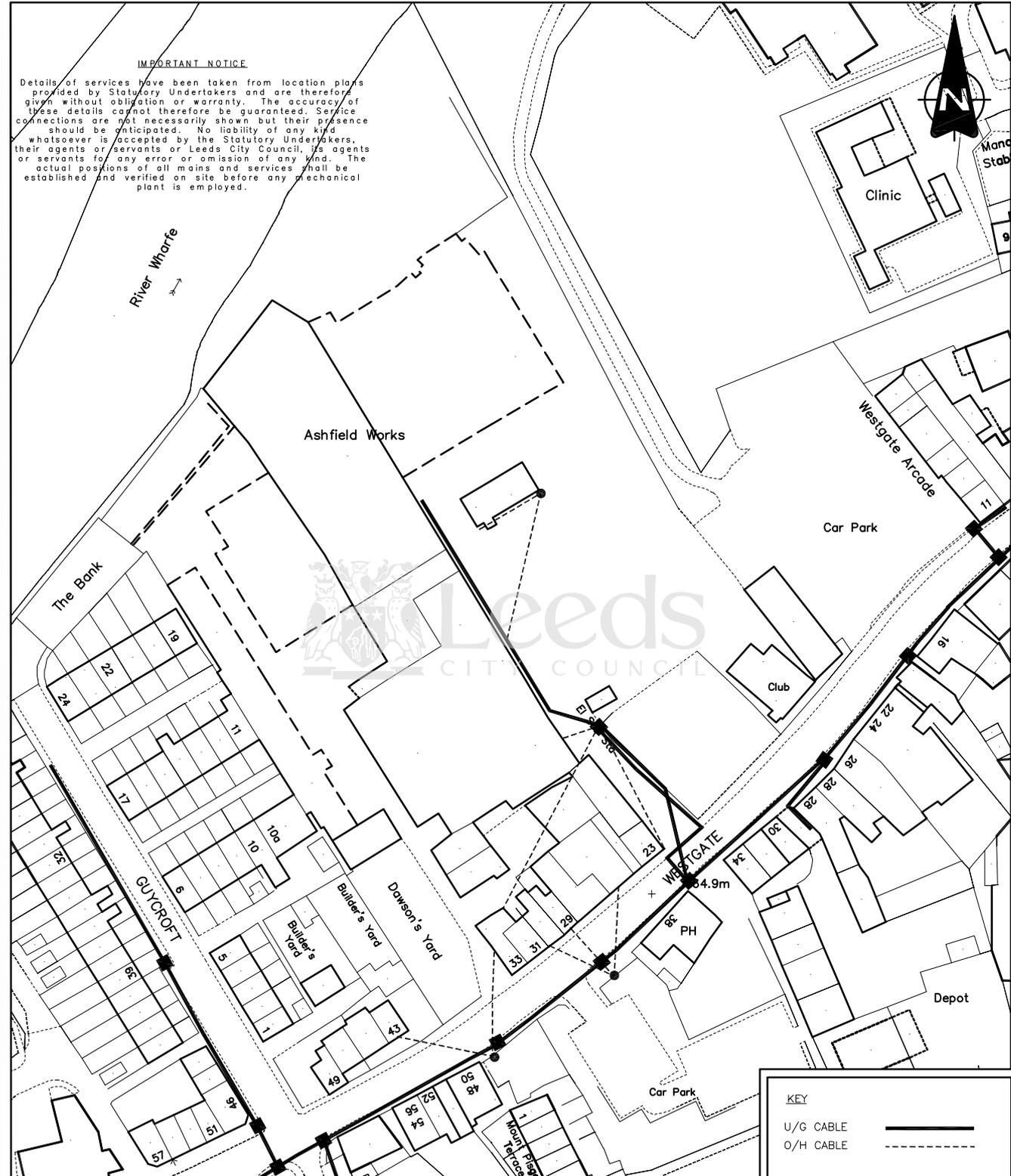
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OTLEY: ASHFIELD WORKS WESTGATE

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