

**Leeds**  
CITY COUNCIL

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**Report of the Chief Planning Officer**

**PLANS PANEL SOUTH AND WEST**

**Date: 31<sup>st</sup> January 2013**

**Subject: APPLICATION 12/04762/LA – PROPOSED REPLACEMENT  
PRIMARY SCHOOL WITH MULTI USE GAMES AREA, WIDE LANE, MORLEY.**

**APPLICANT**

Leeds City Council

**DATE VALID**

15<sup>th</sup> November 2012

**TARGET DATE**

14<sup>th</sup> February 2013

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**Electoral Wards Affected:**

**Morley North**

Y

Ward Members consulted  
(referred to in report)

**Specific Implications For:**

Equality and Diversity

Community Cohesion

Narrowing the Gap

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**RECOMMENDATION: GRANT PERMISSION subject to the following conditions**

1. Time limit (3 years).
2. Development to accord with approved plans.
3. Details of levels to be submitted and approved.
4. Materials details and samples of external walling and roofing to be submitted and approved.
5. Surface materials to be submitted and approved.
6. Details of boundary treatments to be submitted and approved.
7. Trees to be retained and safeguarded.
8. Landscape scheme to be submitted and implemented.
9. Landscape management plan.

10. Aftercare scheme.
11. Arboricultural method statement.
12. Biodiversity protection and enhancement measures to be submitted and approved.
13. Area used by vehicles laid out, surfaced and drained.
14. Details of cycle parking and storage to be submitted and approved.
15. Submission of travel plan to be agreed.
16. Scheme to detail off site highway improvement and pedestrian safety measures.
17. Specified operating hours (construction); no Sunday / Bank Holiday operations.
18. Construction management plan to be submitted and approved.
19. Scheme to detail dust suppression.
20. Scheme to detail mud prevention
21. Screening arrangements for bins and sprinkler tank.
22. Separate systems of drainage for surface water and foul to be submitted and approved.
23. Details of works for dealing with surface water discharges to be submitted and approved.
24. No piped discharges of surface water until completion of drainage works.
25. Feasibility study into the use of infiltration drainage methods to be submitted and approved.
26. Scheme for surface water discharge from the development.
27. Sprinkler details and screening to be submitted and approved
28. Oil / grease Interceptor to be submitted and approved.
29. No development to take place with 3.5m of a sewer.
30. Details of external lighting to be submitted and approved.
31. Plans to require 1:20 typical detailing of door / window and eaves treatment to be submitted and approved.
32. Temporary sports pitches to be provided.
33. Details of playing pitch layout and specification to be submitted.
34. Community use agreement to be submitted and approved.
35. Amendment of remediation statement to be submitted and approved.
36. Submission of verification report to be submitted and approved.
37. Report on unexpected contamination
38. Litter control action plan to be submitted and approved.
39. Submission of sustainability scheme to minimise carbon output and deliver renewable energy.

**Reasons for approval:**

In reaching a decision the case officer dealing with the application has worked with the applicant in a positive way by assessing the proposed development in a prompt and reasonable manner to produce an acceptable scheme in accordance with paragraphs 186 and 187 of the National Planning Policy framework.

In granting permission for this development the City Council has taken into account all material planning considerations including those arising from the comments of statutory and other consultees, public representations about the application and Government Guidance and Policy as detailed in the National Planning Policy Framework and the content and policies within the Development Plan consisting of The Yorkshire and Humber Plan - Regional Spatial Strategy 2008 (RSS) and the Leeds Unitary Development Plan Review 2006 (UDPR). In particular, the application is considered to comply with UDPR policies BD5, GP5, GP11, GP12, LD1, N6, N12, N13, R5, T2, T7A and T24. On balance, the City Council considers the development would not give rise to any unacceptable consequences for the environment, community or other public interests of acknowledged importance.

## **1.0 INTRODUCTION:**

- 1.1 Children's Services have concluded a statutory process which aims to deliver additional primary school provision on the site of the existing Morley Newlands Primary School. This proposal was approved by Executive Board at their meeting of 16<sup>th</sup> May 2012. The demand for additional primary school places is set out in a supporting statement prepared by Children's Services which indicates that within this catchment a three form entry to accommodate an additional 210 children is required plus a nursery provision of 39 places. The existing school roll is currently 420 the proposed new school will therefore increase the size to 630 plus 39 nursery school places.
- 1.2 The existing school is in a poor and dilapidated condition. This combined with a plethora of portable and dated buildings, which are spread across the site in an ad hoc manner, fail to create a stimulating and inspiring learning environment. The removal of these buildings and replacement with a modern and purpose built new school should be welcomed.
- 1.3 This application is presented to Members for determination following an earlier pre-application presentation to Plans Panel South and West on the 11<sup>th</sup> October 2012. At the time of the initial pre-app presentation Members were supportive of the proposal and the general design solution. Members did seek assurances however that the increase in school numbers would not have a harmful impact upon the highway network and sought details in terms of supporting mitigation measures. The proposal is now presented with a package of supporting highway proposals.

## **2.0 PROPOSAL:**

- 2.1 The project is to build a new three form entry primary school to accommodate a further 210 pupils together with a 39 place nursery on the site of the existing Morley Newlands Primary School together with parking, a new safe route to school, new playing pitch, multi use games area and landscaping. The existing school will remain operational during the proposed construction period of May 2013 to July 2014.
- 2.2 This process will involve retaining the existing school until the new development is available for use, and due to the sites limitations, the scheme involves development on existing playing pitches to the south of existing school buildings. Once available the original buildings are to be demolished and replaced with a modern and suitably laid out playing pitch to compensate for the initial loss. In addition a MUGA is also proposed close to the eastern boundary of the site. During construction the school has access to the local park for informal sporting arrangements as agreed with Parks and Countryside as well as the local schools offering use of their sporting facilities for such as sports days or school football / rugby fixtures although it is worth noting that the school at present does not have formal team fixtures on its grounds. This will be continually reviewed through the project to make sure that the proposals allow the school to deliver its curriculum successfully.
- 2.3 The current access arrangements via Albert Road will remain, albeit improved with a new access / egress arrangement. Additional staff parking is provided as well as disabled pupil / parent parking. A new footpath link is also proposed from the south east of the site via Newlands Drive to encourage safer access to the school as well as encouraging sustainable methods of travel. To help alleviate the consequences of increasing school numbers by a third a detailed highway / traffic management scheme has been prepared and this is discussed in more detail under the highway section of this report.

## **3.0 SITE AND SURROUNDINGS:**

- 3.1 The application site is situated off Wide Lane to the south and fronted by Albert Road to the west. To the north and east lie residential units. The main school building is two-storey and part single storey in height. The main school building is constructed of brick, and part single and two storey in height. There are several existing prefabricated units located in the site with the remainder of the site used as a playing field and parking areas. Land levels across the site vary due to various undulations but generally the incline is towards the southern aspect of the site. The school site is bordered by palisade fencing. The surrounding area is largely residential in character.

#### **4.0 RELEVANT PLANNING HISTORY:**

- 4.1 09/00042/FU – Detached block of 3 prefabricated classrooms – Approved 29/4/09  
23/60/04/FU – Renewal of permission for temporary prefabricated classroom units – Approved 30/3/04  
23/328/03/FU - Detached prefabricated classroom to school – Approved 29/7/03  
23/261/00/FU - Detached prefabricated classroom to school – Approved 19/9/00  
23/194/99/FU – Detached prefabricated classroom to school – Approved 10/8/99  
23/379/96/FU - Detached prefabricated community centre to school – Approved 20/12/96  
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23/163/83/ - Detached prefabricated classroom to school – Approved 4/7/83  
23/618/78 - Detached prefabricated classroom to school – Approved 18/9/78  
23/145/75/ - Detached prefabricated classroom to school – Approved 5/5/75

In addition there are various consents for extensions and alterations to the main school building.

#### **5.0 HISTORY OF NEGOTIATIONS:**

- 5.1 Officers have been engaged in pre-application discussions with the applicant since mid 2011.
- 5.2 A public consultation event was held on the 19<sup>th</sup> September and attended by Ward Members, members of the local community, local community groups and parents. Governors, teachers, pupils and members of the design team. Positive feedback was received on the whole praising the form of the building, the design of the interior / exterior spaces and the improvements to vehicular / pedestrian access. An issue was raised about the new pedestrian entrance from Newlands Drive and the impact this will have on traffic and noise.
- 5.3 Children Services also met with Local Councillors on the 5<sup>th</sup> September to discuss the scope of the scheme. The feed back was generally positive.
- 5.4 Following receipt of the application a meeting was held with Members of Morley Town Council held on the 11<sup>th</sup> January 2013 in response to comments received through the public consultation process and which are documented in section 6.2 of this report. The applicant has responded to

this by issuing amended plans which respond to the points raised in terms of producing a daylight / sunlight study, confirmation of the quality of the materials to be used and to address discrepancies in the planning drawings. The amended layout also shows the repositioning of the MUGA, increasing the separation distance to the eastern boundary to **5 M as well as changes to the internal configuration of footpaths and the extent of hard surfacing in order to retain additional trees.**

## **6.0 PUBLIC / LOCAL RESPONSE**

- 6.1 The application was advertised by means of site notice and newspaper advertisement.
- 6.2 Two letters of comment have been received from Morley Town Council who support the principle of developing a new school but have sought clarification in relation to the siting of the proposal and its orientation in terms of maximising daylight / sunlight provision. Further clarification has also been raised in respect of the proposed use of cedar cladding as a material and its appropriateness. Comments have also been made in relation to the proposed highway mitigation measures and it is suggested that the restrictions to introduce resident only parking should be considered to include Newlands Drive and surrounding narrow estate roads. A further point that was raised concerned discrepancies in the plans in relation to the siting of the amphitheatre as it is shown within the layout plan and landscaping drawing with a conflicting orientation.
- 6.3 One letter of support has been received from a local resident who welcomes the opportunity to introduce new investment into the area with modern state of art educational facilities. It is further considered that the design of the building is well considered and that the public consultation process has been of benefit. Further comments are made in relation to the need to manage car parking as well as effective traffic management as well as supporting highway mitigation proposals.

## **7.0 CONSULTATION RESPONSES**

### **7.1 Statutory:**

Sport England - No objection subject to conditions.

Highways - No objection in principle subject to conditions.

Environment Agency - No Objection subject to conditions.

### **7.2 Non – statutory :**

Yorkshire Water – No objection subject to conditions.

Flood Risk Management - No objection in principle subject to conditions.

## **8.0 PLANNING POLICIES:**

- 8.1 The Development plan includes the Regional Spatial Strategy to 2026 (RSS) and the adopted Leeds Unitary Development Plan (Review 2006) (UDP) along with relevant supplementary planning guidance and documents. The Publication Draft of the Core Strategy was issued for public consultation on 28th February 2012 and the consultation period closed on 12th April 2012.
- 8.2 The Core Strategy sets out strategic level policies and vision to guide the delivery of development investment decisions and the overall future of the district. On 14th November 2012 Full Council resolved to approve the Publication Draft Core Strategy and the sustainability report for the purpose of submission to the Secretary of State for independent examination pursuant to Section 20 of the Planning and Compulsory Purchase Act 2004. Full Council also resolved on 14th November 2012 that a further period for representation be provided on pre-submission changes and any further representations received be submitted to the Secretary of State at the time the Publication Draft Core Strategy is submitted for independent examination.
- 8.3 As the Council have resolved to move the Publication Draft Core Strategy to the next stage of independent examination some weight can now be attached to the document and its contents recognising that the weight to be attached may be limited by outstanding representations which have been made which will be considered at the future examination.
- 8.4 The existing school buildings and hard play areas are unallocated in the Adopted Leeds UDP (Review, 2006). The playing fields are allocated as a Protected Playing Pitches. The proposed plans shows the development to be constructed on allocated Protected Playing Pitches, Policy N6.
- 8.5 There are a number of relevant policies in the adopted Leeds UDP Review (2006) as follows:

BD5: New buildings should be designed with consideration of their own amenity and surroundings.

LD1: Landscape schemes to provide visual interest.

GP5: Development proposals should resolve detailed planning considerations.

GP11: Sustainability measures.

GP12: Carbon reduction measures.

N12: Urban design: Spaces between buildings of importance, new buildings should be good neighbours and respect character and scale of surroundings.

N13: Building design should be high quality and have regard to character and appearance of surroundings.

R5: Training and employment

T2: Development should not create problems of highway safety.

T24: Parking standards should be met.

#### 8.6 Supplementary Planning Guidance / Documents:

SPG Neighbourhoods for Living.

#### 8.7 National Planning Guidance:

National Planning Policy Framework

### 9.0 **MAIN ISSUES**

1. Principle of development
2. Suitability of the site and relationship to adjacent
3. Design and layout issues
4. Impact upon surrounding residential amenity and living conditions
5. Highway issues
6. Landscape / tree issues
7. Other issues
8. Conclusion

### 10.0 **APPRAISAL**

#### Principle of development

- 10.1 Section 38(6) of the Planning & Compulsory Purchase Act 2004, indicates that in considering planning applications the determination must be made in accordance with the development plan unless material considerations indicate otherwise.
- 10.2 The site is partially allocated as protected playing pitches N6 in the UDPR. As such the site forms part of, or constitutes a playing field as defined in Article 10(2) the Town and Country Planning (General Development Procedure) Order 1995 (as amended by SI 1996/1817 and SI 2009/453), in that it is on land that has been used as a playing field within the last five years, and the field encompasses at least one playing pitch of 0.2 ha or more, or that it is on land that allocated for the use as a playing field in a



development plan or in proposals for such a plan or its alteration or replacement. In this context it was necessary to consult Sport England as a statutory consultee.

- 10.3 The proposal involves the redevelopment of a primary school site, largely involving building new school buildings on the playing field and the relocation of the playing field onto the current school footprint. Sport England has had the benefit of pre application consultation on this proposal which has informed their response.
- 10.4 The basic plans have changed little from the pre application stage and figures have been submitted to quantify the 'before' and 'after' playing field areas; this shows that there would be a loss of -260 sq m of playing field. However we note the addition of a MUGA at 684.5 sq m; according to submitted plan 13-1083(90) D5b. In order to offset the loss of natural turf and meet Sport England's exception E4 policy, the proposal will need to comply fully with their design and technical specification for reinstatement of the playing field and design and layout of the MUGA, including carefully selecting the surfacing to support the range of sports to be played.
- 10.5 Sport England does not object to this proposal providing the following measures are secured by condition:-
  - a) The playing field replaced to the north of the site would need to be like for like or better (in quantity and quality) and be able to fully support the range of pitch sports markings and training of the existing rugby league club as well as the school. This should include the MUGA to be Sport England compliant.
  - b) To resolve the temporary loss of playing field and community sport space while the new school would be under construction and the playing field will be out of use, which will require the applicant find nearby alternative pitch/es for rugby league community club access temporarily during construction. Sport England expect this to be secured by planning condition.
  - c) New sports facilities should be made available to the community and secured by a community use agreement or scheme.
- 10.6 Members should also be mindful of a new policy statement issued jointly by the Secretary of State for Education and the Secretary of State for Communities and Local Government on the 15<sup>th</sup> August 2011. This sets out the Government's commitment to support the development of state-funded schools and their delivery through the planning system. It states that the Government is firmly committed to ensuring there is sufficient provision to meet growing demand for state-funded school places, increasing choice and opportunity in state-funded education and raising educational standards. It goes on to say that the Government believes that the planning system should operate in a positive manner when

dealing with proposals for the creation, expansion and alteration of state-funded schools, and that the following principles should apply with immediate effect:

i) There should be a presumption in favour of the development of state-funded schools, as expressed in the National Planning Policy Framework.

ii) Local authorities should give full and thorough consideration to the importance of enabling the development of state-funded schools in their planning decisions. The Secretary of State will attach significant weight to the need to establish and develop state-funded schools when determining applications and appeals that come before him for decision.

10.7 Against this background it is considered that the principle of development is acceptable.

#### Suitability of the site and relationship to adjacent area

10.8 The site is currently an operational school site, and as such, no objections are raised in principle to the proposed development in respect of its impact on the immediate environment and local highway network subject to appropriate mitigation measures.

#### Design and layout issues

10.9 The proposed new school involves a combination of single storey and two storey elements which are angled to reflect the geometry of the site. The positioning of the school at the junction of Wide Lane and Albert Road provides the opportunity to make an architectural statement to the road frontage. At this juncture the school is at a two storey scale and with steep mono pitched styled roof. The design uses the building to make a frontage to the roads and act as a buffer to the play spaces. Classrooms face as far as practicable away from the roads to allow a passive ventilation system to be used, with service spaces facing onto the road. The site's incline is dealt with at the 'knuckle' point to make a step up the site whilst keeping level changes to a single point within the building. At this point the scale and massing of the building is also reduced down to a single storey level.

10.10 Located behind the main frontage is both single and two storey elements which provide office space, circulation corridor and hall. Essentially these are flat roofed and designed to create a court yard enclosure to the rear of the site to provide informal play space.

10.11 The main school entrance is taken off Albert Road where a new square or Plaza offers a meeting point outside the school entrance away from the road for parents / carer's and their children. Community facilities are

located off the main entrance plaza and are sectioned off from the main school to allow for anytime use and the safe guarding of the pupils.

- 10.12 The proposed building style is of a simple form and of a traditional construction. The various single storey and two storey components of the proposal sit comfortably together and incorporate consistent and regular fenestration which is also articulated with a simple palette of materials. Additionally, and taking into account changes to the roof form, including monopitch, hipped and pitched and flat roof arrangements, it is considered that this helps create visual interest and variation.
- 10.13 The proposed scale and massing of the building is not out of keeping with the character of the immediate residential area. In this context, the proposed scale and massing of the development has been assessed in relation to its surroundings, topography, the general pattern of heights in the area as well as views, vistas and landmarks. It is considered that the proposal satisfies RUDP planning policies BD5 and N12 in this regard and represents an acceptable design solution.
- 10.14 The materials palette proposed includes brick / render/ timber and standing seam metal for the pitched roofs and single ply membrane for the flat roof areas. It is proposed that the large hall would have composite cladding and wall light panels to provide clerestory lighting. The appearance of the development adopts a simple but contemporary style. Clerestory windows below the hall roofline will give the impression of a floating roof at times when the hall is artificially lit.
- 10.15 Observations have however been raised in relation to the proposed use of timber cladding and its durability. In this regard the applicant has given an undertaking that only high quality treated red cedar cladding is to be used and that this will be guaranteed for 25 years. In essence this form of cladding is not a dominant feature within the proposals, and it is used in a limited way to break up the brick massing and to introduce some visual relief. Additionally it is suggested that this matter, in any event, is conditioned to ensure that such a quality is assured. Against this background it is considered that the proposal is of an acceptable design quality and satisfies Revised UDP policies N12 and N13.
- 10.16 The proposed layout also includes the re-provision of a new playing pitch, to the north of the site once existing buildings have been removed and also a new MUGA to the east of the site. Although acceptable in principle, amended plans have been received which repositions the MUGA further away from the eastern boundary in order to improve the outlook and living

conditions of surrounding residents. Elsewhere the scheme also proposes hard surfaced outdoor play areas as well as an amphitheatre.

- 10.17 In response to observations received, the applicant has produced a daylight / sunlight study which demonstrates that the play area and amphitheatre is suitably located.

#### Impact upon surrounding residential amenity and living conditions

- 10.18 The proposed development has to be considered in terms of its impact upon the residential amenity afforded to nearby residents. The development is located within an existing operational school boundary, the proposed development will be sited to the south of the site and closer to Wide Lane which is a busy radial road with housing beyond. To the west is Albert Road with housing located beyond this point. To the east, the proposed side elevation of the school, in which windows are shown, would be closer to the nearest housing than the existing arrangement, but at this point, the proposal would be at a single storey scale. It is therefore considered there is no direct overlooking and the separation distances from building to building would be in excess of 21 metres.
- 10.19 To the north of the site although it is proposed that all existing buildings are to be removed the servicing arrangements will be contained in the north west corner the school, similar to the existing arrangement albeit the use will be intensified. To the immediate north a new playing pitch is proposed and to the north east a MUGA. The siting of the MUGA, as described above, has been repositioned further away from the eastern boundary to increase the separation distance to the nearest dwellings and although no flood lighting is proposed, this will enable meaningful planting and screening measures to be introduced by means of planning condition. It is considered that the living conditions of surrounding residents have been safeguarded in this regard and satisfies policy GP5 of the Revised UDP.
- 10.20 The proposed footpath link via Newlands Drive has also been considered in terms of its impact upon the surrounding residential amenity. The footpath itself already exists and is used to connect Newlands Drive to Wide Lane and visa versa.

10.21 The proposal involves, in part, widening this footway and creating a spur off it to provide access directly to school and thus avoiding parents / pupils the need to walk around to the main school entrance off Albert Road. In this such circumstances given the footway link is existing it is considered that the additional link will cause no demonstrable planning harm albeit the likely use of such will be intensified given the increase in school numbers. This conclusion has been reached on balance taking into account the existence of the path already and all other highway mitigation measures aimed at encouraging walking and to cycling school and reducing the attractiveness of private vehicle journeys. Against this background, it is therefore considered that the proposed development will not conflict with Revised UDP Policy GP5 in this regard.

#### Highway Issues

10.22 The Council's Highway Engineer has raised no objections to the principle of development.

10.23 A transport assessment has been submitted in support of the proposal that concludes that the scheme would not have an unacceptable impact on the operation of the local highway network. A package of highway improvement measures is also proposed to improve accessibility to the site and mitigate the effect of the additional vehicular traffic / parking that is likely to be generated by the enlarged school. These measures include: footway widening across the Albert Road frontage, extending school clear markings, relocating bus stops, tactile paving, guard railing, additional signage, new pedestrian crossing on Wide Lane and other supporting measures.

10.24 Consideration was also given to introducing a residents only parking scheme along and around Newlands Drive, however after consultation with highway colleagues it was agreed that this measure should not be pursued. Essentially this was due to the fact that resident only parking would not prevent dropping off and picking up, but which would introduce restrictions on the living conditions of existing residents in terms of visitors and deliveries etc.

10.25 The existing site layout is currently served by a narrow car park access off Albert Road and a secondary access that appears to have been historically used as a part-time service entrance. This is similarly narrow and incapable of allowing two vehicles to pass. The proposed vehicle access arrangements, which will comprise of separate entry / exit points with respective widths of approximately 5.5m and 6m, and this is regarded as an improvement over the existing situation.

10.26 The school currently has 53 members of staff and car parking provision for such is only 17 spaces. The proposed school would employ 75 members of staff and the proposed off-street car parking provision of 38 spaces is in accordance with the RUDP car parking guidelines. In terms of cycle parking, the required level of parking for this mode of travel will be determined by the expected demand predicted by the school travel plan. The applicant has provisionally indicated that 30 cycle spaces are to be provided. It is therefore considered that policies T2 and T24 of the Revised UDP are satisfied.

#### Landscape / tree issues

10.27 The Council's Landscape Architect has commented on the proposal and has made no objection to the principle of development subject to conditions to protect the trees during construction as well as their tree root zones. It is also considered that a landscaping condition should also be imposed to provide further enhancement.

10.28 The proposed layout aims in part to utilise, as far as possible, previously developed areas of the site in terms of the access, circulation road and car parking provision. Tree cover across the site is limited and mainly confined to the periphery of the site. As the proposal does involve widening the existing footway across the site frontage to 3m and given there are a significant number of trees in this area, it will lead to the loss of such, although every attempt will be made to safeguard as many as possible. To this end **amended drawings have been received which aim to reduce areas of hard standing and reconfigure footpaths to retain as many trees as possible.**

10.29 Against this background it is considered that the proposal complies with policy LD1 of the Revised UDP.

#### Other Issues

10.30 A flood risk assessment has been submitted to accompany this application. The site falls within zone 1 of the SFRA map produced by Leeds City Council. This zone comprises of land assessed as having less than a 0.1% chance of annual probability of flooding. Against this background the Environment Agency has raised no objections to the principle of development subject to conditions.

10.31 Amended plans have also been received in relation to discrepancies described earlier in this report relating to drawings the proposed layout, tree removal, landscaping and phasing details. A full and accurate set of

composite drawings have now been received for consideration and presentation to Members.

## **11.0 CONCLUSION**

- 11.1 The proposed development is considered to be acceptable in planning terms and lies within an area of sufficient size to accommodate such a use without having a detrimental impact upon both the visual and residential amenity of the area as well as its general character.
- 11.2 Overall, it is considered that the proposed scheme is of an acceptable quality in design terms and delivers extended and essential new teaching accommodation, replacing a depilated and outdated school. The new primary school will predominately serve its local catchment and colleagues in Children's Services have identified an overriding need for such a provision in this area.
- 11.3 Given the predicated short travel journeys it is considered that the impact upon the existing transport infrastructure will be limited. The scheme has also been redesigned with extended staff parking and separate access and egress arrangements. Measures to improve both pedestrian safety and highway improvements as well as green travel arrangements will help mitigate against any potential traffic impacts should they arise. Significant weight should also be given to the fact that improved benefits to the local community will also arise from not only this new educational facility but also improved sports facilities as well as wider community use opportunities.

## **12.0 BACKGROUND PAPERS**

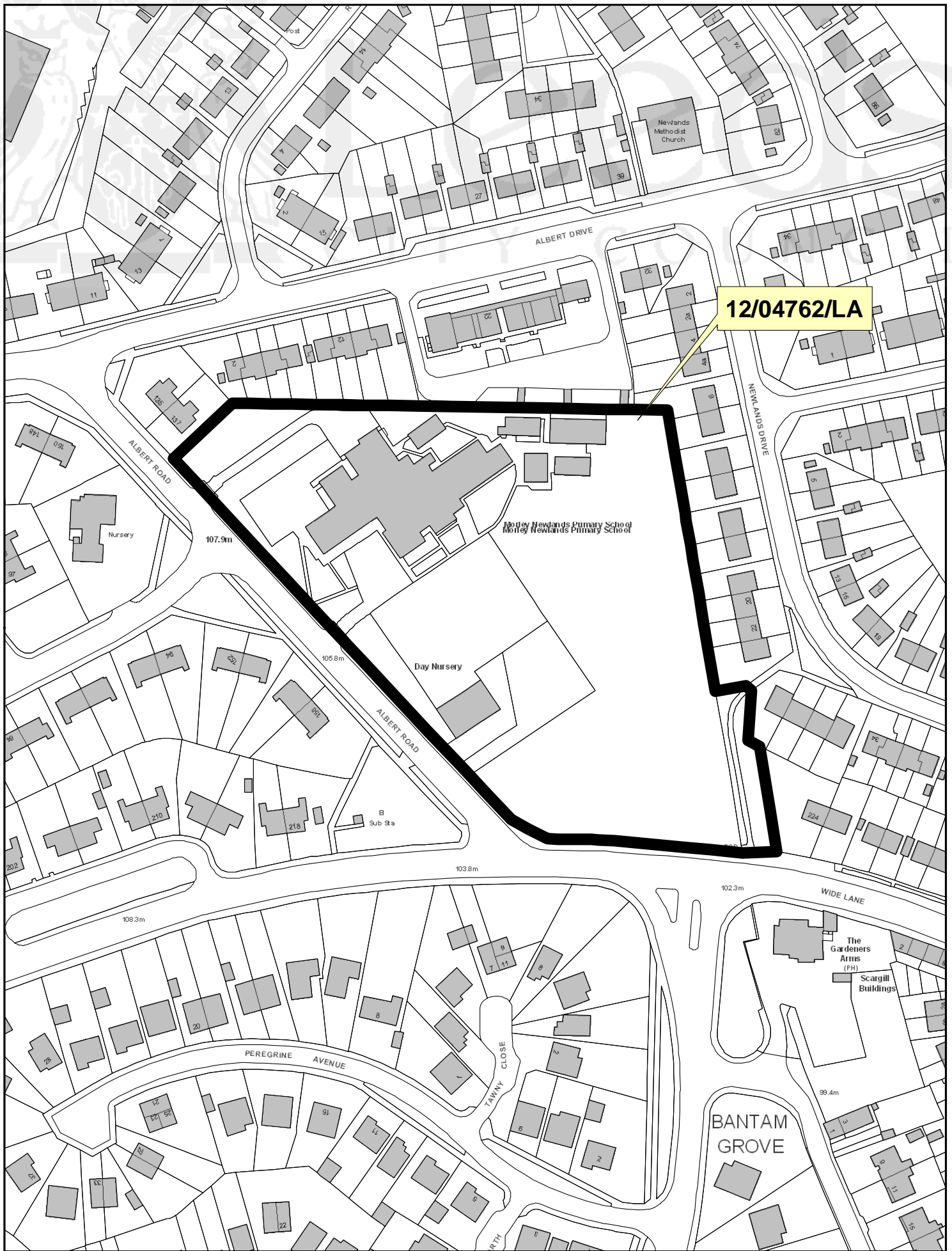
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5/5/75





# SOUTH AND WEST PLANS PANEL