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**Report of the Chief Planning Officer**

**CITY PLANS PANEL**

**Date: 2 September 2021**

**Subject: Draft Planning Brief for the Temple District, South Bank, Leeds.**

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**Electoral Wards Affected:**

Beeston and Holbeck

Yes

Ward Members Consulted

**Specific Implications For:**

Equality and Diversity

Community Cohesion

Narrowing the Gap

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**RECOMMENDATION: This report is brought to Plans Panel for information. Recommendations are as follows:**

- i. **Consider and comment on the Draft Temple District Planning Brief; and**
- ii. **Note that, once approved, the draft Temple District Planning Brief will be presented at a future City Plans Panel as an informative note.**

## 1 Introduction

- 1.1 As noted at City Plans Panel in August 2021, the Council has prepared a new planning brief for Temple District / the Temple Works Comprehensive Development Zone (CDZ). The Planning Brief is appended in full at Appendix 1.
- 1.2 The draft Temple District Planning Brief is out to public consultation between Monday 16<sup>th</sup> August and Monday 27<sup>th</sup> September 2021.
- 1.3 City Plans Panel Members are invited to comment on the draft Temple District Planning Brief as part of the consultation process.

## 2 Overview of Planning Brief

- 2.1 The Development Plan for Leeds and existing Supplementary Planning Documents (SPD) define the broad policy context of the wider area. Whilst Temple District falls within the boundaries of the SPDs, they do not provide a distinct context or vision for the Temple District CDZ. Additionally, the planning and policy context for the area has developed and changed over time and the preparation of the Temple District Planning Brief provides an opportunity to update and add further context and detail, defining how existing policies relate specifically to the Temple District.
- 2.2 With its status as a Supplementary Planning Guidance (SPG) document, the role of the Planning Brief is not to introduce any new planning policies. Rather, the SPG's role is to clarify how existing planning policies and SPDs apply to the area, reinforcing the Council's expectations for high quality development, ensuring that a climate ready and nature friendly approach to placemaking is up front and centre. The Brief can provide clarity to developers and stakeholders with interests in the area regarding the Council's expectations for Temple District, whilst providing a steer for future development opportunities and refreshed context for delivery of regeneration in the South Bank.
- 2.3 Once approved, the Planning Brief will become a material consideration for use by the Council to help determine planning applications within the CDZ. The Brief will also help to provide a consolidated framework to steer future pre-application enquiries and planning applications.
- 2.4 The structure of the Temple District Planning Brief is as follows:
  - a. Introduction
  - b. Strategic Priorities
  - c. Context
  - d. Planning Policy Framework
  - e. Development Context
  - f. **Development Guidance:**
    - i. Strategic principles for development
    - ii. A Climate Ready and Nature Friendly Approach
    - iii. Green space, Public Realm and Open Space
    - iv. Green and Blue Infrastructure
    - v. Biodiversity
    - vi. Drainage
    - vii. Flood Risk
    - viii. Sustainability Built in-to the Design
    - ix. Connectivity and Permeability
    - x. Connectivity to Local Communities

- xi. Uses including Indicative Development Capacity
- xii. Land Contamination and Ground Conditions
- xiii. Heritage
- xiv. Scale and Massing
- xv. Design and Local Character
- g. Delivery
- h. Appendix 1: Ensuring Successful Regeneration within Wider South Bank
- i. Appendix 2: Site Allocations Plan
- j. Appendix 3: Supporting Information

### 3 Consultation and Engagement

- 3.1 Public consultation on the Planning Brief is being undertaken in line with the Council's Interim Statement of Community Involvement:  
<https://www.leeds.gov.uk/planning/planning-policy/interim-sci>.
- 3.2 Consultation on the draft Temple District Planning Brief is running between Monday 16<sup>th</sup> August and Monday 27<sup>th</sup> September.
- 3.3 Consultation information is available at: [www.leeds.gov.uk/TempleDistrict](http://www.leeds.gov.uk/TempleDistrict) and the full text of the planning brief is available at: <https://www.leeds.gov.uk/planning/planning-policy/supplementary-planning-documents-and-guidance/temple-district/temple-district-planning-brief>
- 3.4 An executive summary of the draft Temple District Planning Brief has been made available in locations in Beeston and Holbeck, including local community hubs and libraries, signposting to further information available on the Council's website.
- 3.5 Three webinars are planned on the Temple District Planning Brief:
- [businesses and organisations: 6 to 7pm, 31 August](#)
  - [landowners and developers: 6 to 7pm, 1 September](#)
  - [residents and community: 6 to 7pm, 2 September](#)
- 3.6 Officers are attending the Holbeck Together End of Summer Party on 26<sup>th</sup> August and are presenting the Temple District Planning Brief at a public meeting of the Holbeck Neighbourhood Forum on 22<sup>nd</sup> September.
- 3.7 Responses to the consultation can be provided by:
- [filling in the online survey](#)
  - emailing [localplan@leeds.gov.uk](mailto:localplan@leeds.gov.uk)
  - writing to: Temple District Planning Brief, Policy and Plans Group, 9th Floor East, Merrion House, 110 Merrion Centre, Leeds LS2 8BB

#### **4 Process and Next Steps**

- 4.1 The Temple District Planning Brief has been prepared by Leeds City Council as the Local Planning Authority, in consultation with key stakeholders within the area such as landowners, the community, statutory consultees and service providers.
- 4.2 Following the consultation process outlined above, the Council will consider the representations and identify any changes that may be needed to the Temple District Planning Brief. Once any necessary changes have been considered and incorporated as deemed appropriate, it is intended that the Planning Brief will be approved for use by circa November 2021. This approval of and agreement to the Brief as an SPG will be undertaken through the Chief Planning Officer's delegated powers.
- 4.3 The approved Planning Brief will be presented at a future City Plans Panel meeting as an informative Member Training note, due to the City Plans Panel Members being the likely decision-makers for future planning applications where the Brief will need to be considered.

#### **5 Recommendations**

- 5.1 City Plans Panel is recommended to:
  - i. Consider and comment on the Draft Temple District Planning Brief; and
  - ii. Note that, once approved, the draft Temple District Planning Brief will be presented at a future City Plans Panel as an informative note.



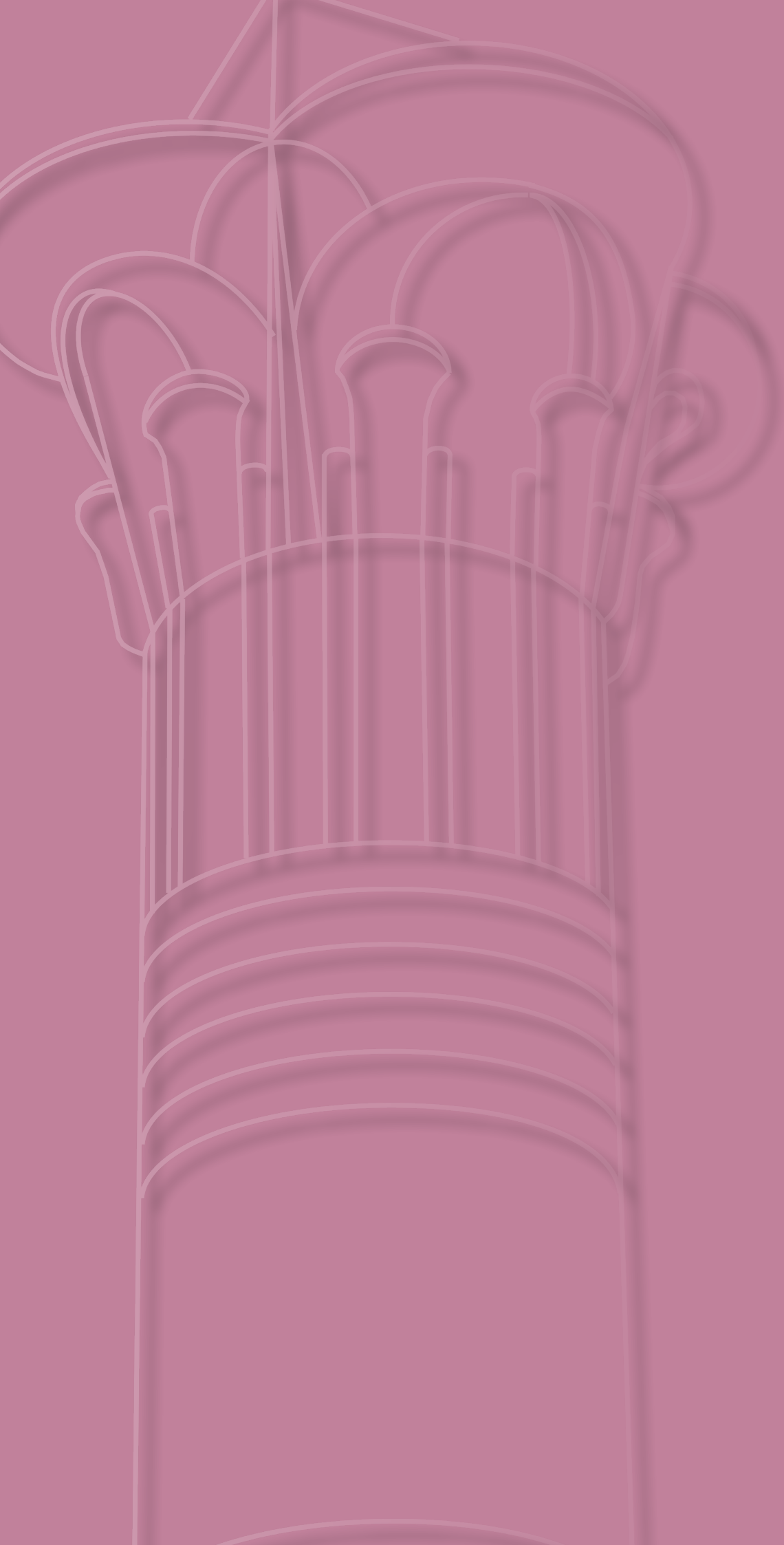
# Temple District Planning Brief

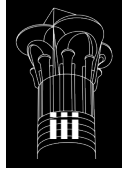
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**Initial Draft for Consultation**

Consultation: 16th August to 27th September 2021

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# Contents

<b>1.0</b>	<b>Introduction</b>	1-8
<b>2.0</b>	<b>Strategic Priorities</b>	9
<b>3.0</b>	<b>Context</b>	10-14
<b>4.0</b>	<b>Planning Policy Framework</b>	15-19
<b>5.0</b>	<b>Development Context</b>	20-21
<b>6.0</b>	<b>Development Guidance</b>	22-60
<b>7.0</b>	<b>Delivery</b>	61-62
<b>8.0</b>	<b>Appendix 1: Ensuring Successful Regeneration within Wider South Bank</b>	63-66
<b>9.0</b>	<b>Appendix 2: Site Allocations Plan</b>	67-69
<b>10.0</b>	<b>Appendix 3: Supporting Information</b>	70-77
<b>11.0</b>	<b>Endnotes</b>	78-79

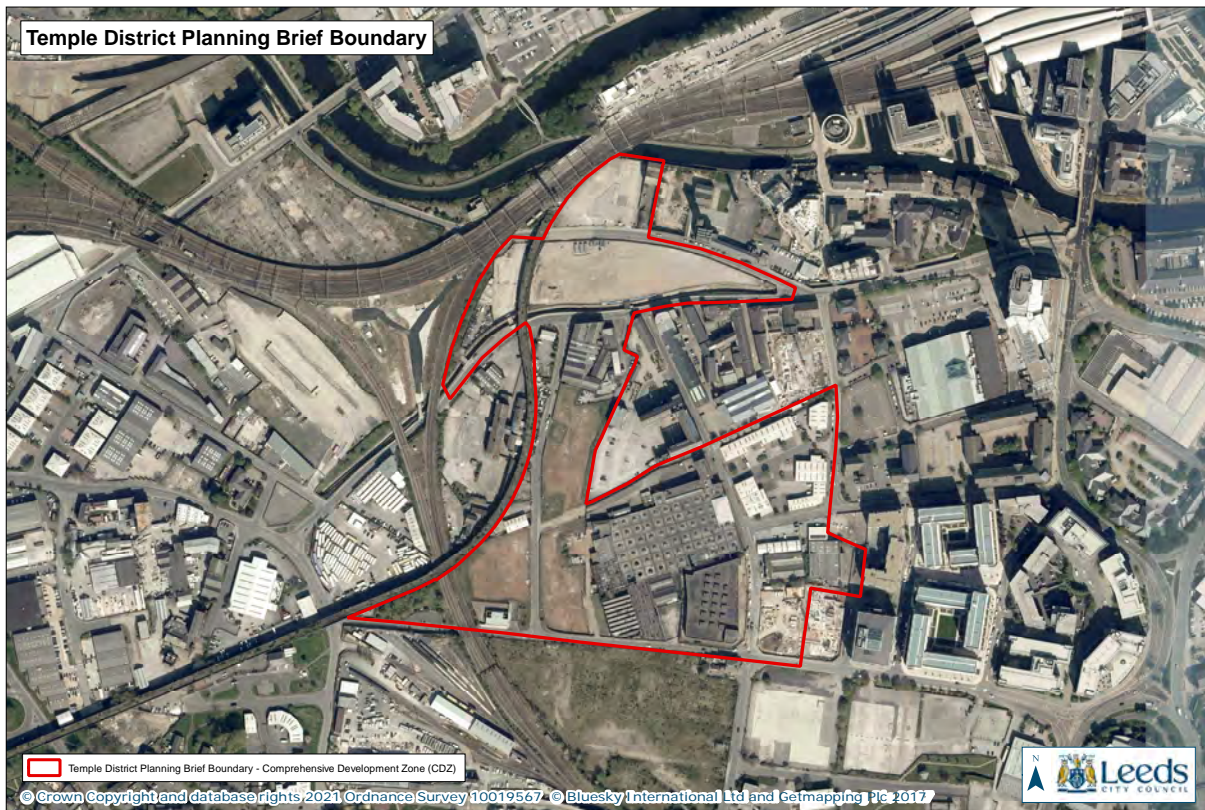




# Introduction

## 1.0 Introduction

### 1.1 Vision for the Temple District



PRODUCED BY CITY DEVELOPMENT, GIS MAPPING & DATA TEAM, LEEDS CITY COUNCIL Date: 10/08/2021 Created by: NF  
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- 1.1.2 The Temple District offers a strategic development opportunity for the creation of a vibrant and distinctive new neighbourhood at the heart of the Leeds South Bank which supports the regeneration and re-use of Grade I Listed Temple Works in an enhanced setting. The Temple District has the potential to act as an exemplar for sustainable development that contributes to the social, economic and environmental objectives for the city whilst securing the best use of a key regeneration area.
- 1.1.3 The regeneration of the Temple District has the opportunity to revitalise and re-purpose key heritage assets within a high-quality environment and to improve connections to the wider City Centre and surrounding communities. This will contribute to achieving the Council's Vision for Leeds, as well as meeting objectives within the Council's three key pillars of Inclusive Growth, Health and Wellbeing and the Climate Emergency.
- 1.1.4 Development needs to be effectively planned and designed for it to act as a catalyst for regeneration and placemaking within the area. It will support the integration of existing residential neighbourhoods through reinforcing connectivity and legibility and delivering green and blue infrastructure. This will provide sustainable and improved mobility infrastructure for pedestrians and cyclists, whilst also ensuring that measures are taken to mitigate the impacts of climate change and contribute towards biodiversity net gain.

- 1.1.5 The ambition for Temple District is:

*The creation of a vibrant and distinctive new mixed-use neighbourhood which acts as an exemplar for sustainable development, enhances the setting and secures the future of an internationally-significant Listed Building, and delivers on a long-standing ambition for large-scale regeneration of the area as a focal point for Leeds South Bank*

- 1.1.6 Through collating, reflecting upon, and amplifying policies within the development plan for Leeds and supplementary planning documents, the planning brief will help to ensure that development contributes to the Vision for Temple District, developed from principles in existing SPDs, which is to:
- Secure a sustainable future of Temple Works, an at-risk Grade I Listed Building of international significance currently without a use, and other key heritage assets through stabilisation, sensitive repair and the encouragement of supporting uses;
  - Make the best use of and enhance the historic environment within a context of regeneration and change;
  - Deliver comprehensive place-making and redevelopment of the area into a new mixed-use and sustainable community;
  - Emphasise high quality, flexible, accessible, people-centred design and public realm, including open spaces which protect and enhance the area's unique historic character;



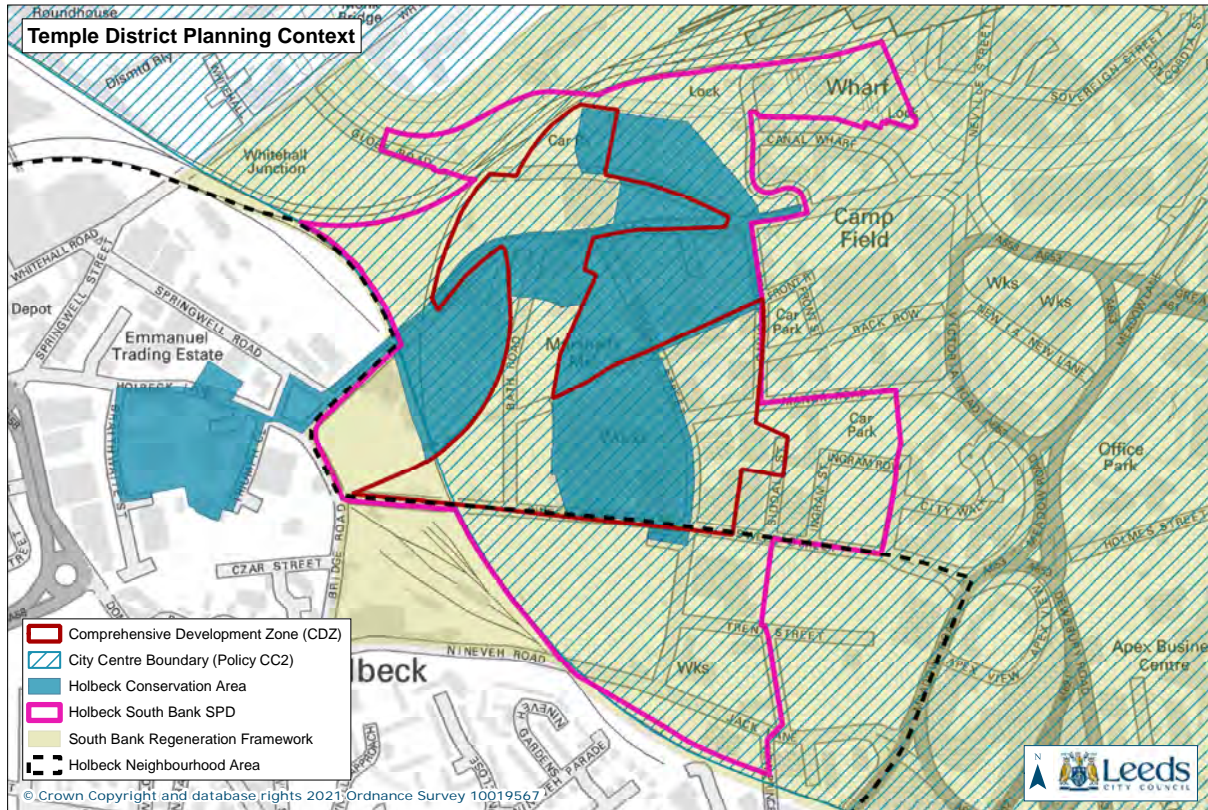
- Create new opportunities for employment and skills, making the most of digital capabilities and opportunities for creative businesses;
- Contribute to the recovery of Leeds City Centre, post COVID-19;
- Enhance connectivity and champion active travel within and around the Temple District so that it functions as an exemplar for walking and cycling in Leeds, with limited reliance on cars and enhanced connection to public transport nodes;
- Improve connectivity between the City Centre and the surrounding communities of Beeston Hill and Holbeck, ensuring that existing neighbourhoods are physically and socially connected to the redevelopment of the Temple District;
- Provide a range of housing choices, as well as affordable homes to support a mixed community;
- Integrate green and blue infrastructure into the physical landscape and maximise existing links within the site; and
- Deliver overall biodiversity net gain and embed sustainability principles in line with climate emergency priorities.

1.1.7 Securing the comprehensive re-development of the area to support bringing Temple Works back into active use, preservation of heritage assets as well as supporting delivery of new infrastructure in an integrated and timely way is the key to realising this Vision and is the focus of this Planning Brief, in line with priorities established in the Holbeck, South Bank SPD and South Bank Leeds Regeneration Framework SPD.

1.1.8 As part of the Vision to promote a comprehensive mixed-use development scheme which can deliver at scale to secure a future for Temple Works Vision, the Temple District Planning Brief will adopt a **climate ready and nature friendly approach to placemaking**. Key considerations of which are green and blue infrastructure connectivity, greenspace and open space, pedestrian and cycle accessibility, biodiversity, flood risk, drainage and sustainable design. This front-loaded and joined up strategy will enable the co-location of delivery of multi-functional infrastructure to achieve the Vision for Temple District, integrating the Council's three key pillars of Inclusive Growth, Health and Wellbeing and the Climate Emergency.

1.1.9 It is not the function of this planning brief to replicate all relevant local and national planning and related legislation and policy which may be relevant to the successful delivery of the Temple District and re-purposed Temple Works. Whilst the Planning Brief signposts to relevant policies and guidance, emerging policy will need to be considered where relevant at the time an application is submitted.

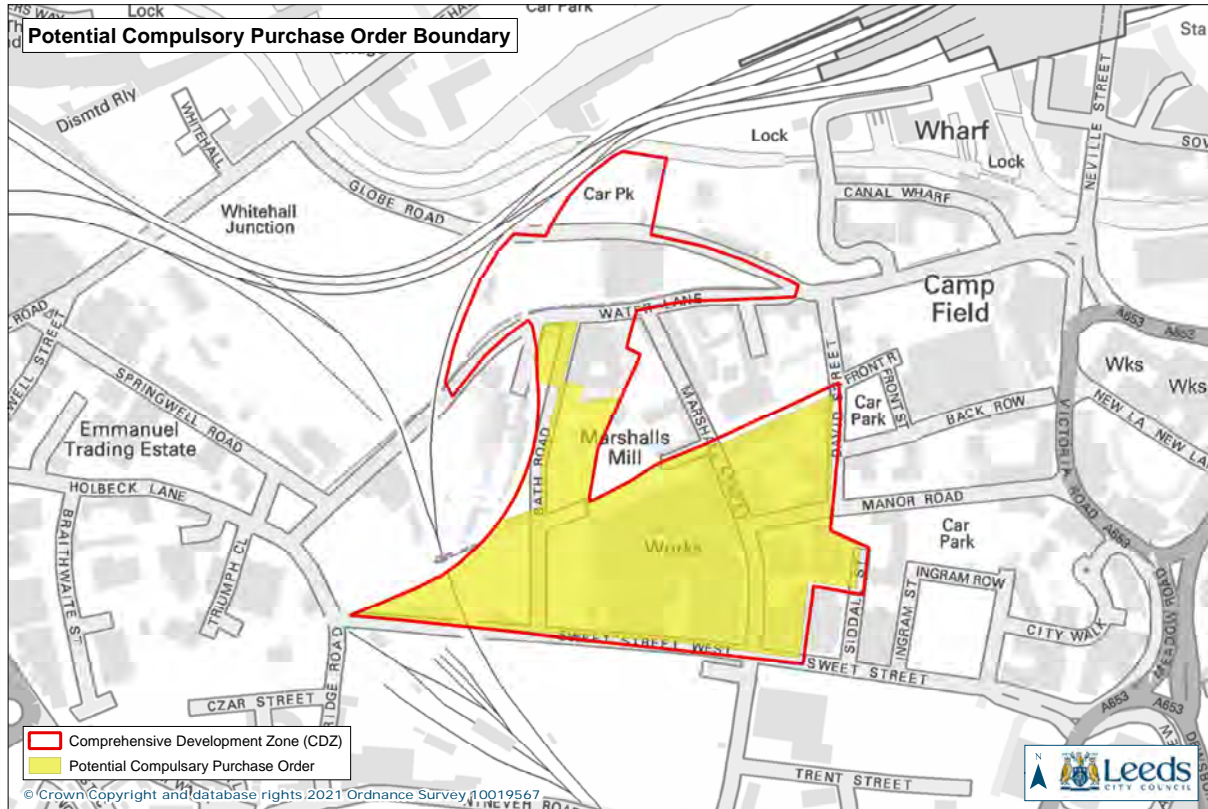
## 1.2 Clarifying the Boundary of Temple District



### Temple District Comprehensive Development Zone: Planning Brief Site Boundary

- 1.2.1 As might be expected from an area of the City which has had a lot of planning interest, development proposals, allocations and policy making in recent years the Temple District comprises a number of overlapping boundaries. The Temple District also known as the Temple Works Comprehensive Development Zone (CDZ) has emerged from a business case put forward to Executive Board over a number of years as the comprehensive development zone to support regeneration around Temple Works. It has been influenced by its positioning within several SPDs over the years.
- 1.2.2 The area of Temple District consists of 11.75 hectares of land, bounded to the north by the Leeds and Liverpool canal, the west by the railway line and viaduct, Sweet Street West to the south with Siddal Street, David Street and the rear of the Marshalls Mill site forming the eastern boundaries.

### Potential Compulsory Purchase Order Boundary



1.2.3 The area for a potential Compulsory Purchase Order (CPO) for land within the CDZ was first identified and agreed through Executive Board in November 2018 and revised in March 2021. This area is where potential use of compulsory purchase powers will be linked specifically to proposals for Temple Works. This does not preclude the Council from pursuing potential further CPO action in the wider area in future.

### Holbeck Conservation Area Boundary

1.2.4 The Holbeck Conservation Area, revised in 2005, crosses through and covers a significant area of the CDZ and has been identified as a Conservation Area ‘At Risk’ by Historic England.

### Holbeck South Bank SPD Boundary

1.2.5 The Holbeck, South Bank SPD boundary covers a wider area than the Planning Brief and provides supplementary planning guidance for development which acts as important baseline for this Planning Brief. It is not the intention of this Brief to replace guidance within the SPD and development proposals will be expected to demonstrate how SPD guidance has been taken into account.

### **South Bank Leeds Regeneration Framework SPD Boundary**

- 1.2.6 The South Bank Leeds Regeneration Framework SPD identifies significant regeneration priorities for the city, with the Planning Brief boundary sited within the western extent of the SPD area. It is not the intention of this Brief to replace guidance within the SPD and development proposals will be expected to demonstrate how SPD guidance has been taken into account.

### **Holbeck Neighbourhood Plan Boundary**

- 1.2.7 The Holbeck Neighbourhood Plan boundary sits adjacent to the Planning Brief boundary, with a shared boundary at Sweet Street West and Sweet Street. The neighbourhood plan identifies a number of priorities that cross over into the CDZ and there are opportunities through this Brief to connect to local aspirations.
- 1.2.8 For further explanation of these boundaries and how they interrelate, please see [Appendix 3](#).

## **1.3 Purpose of the Planning Brief**

- 1.3.1 The Development Plan for Leeds and existing SPDs define the broad policy context of the wider area. Whilst Temple District falls within the boundaries of the SPDs, they do not provide a distinct context or vision for the Comprehensive Development Zone (CDZ) - Temple District. Additionally, the planning and policy context for the area has developed and changed over time and the preparation of the Temple District Planning Brief provides an opportunity to update and add further context and detail, defining how existing policies relate specifically to the Temple District.
- 1.3.2 In so doing, the brief can provide clarity to developers and stakeholders with interests in the area regarding the Council's expectations for Temple District, whilst providing a steer for future development opportunities and refreshed context for delivery of regeneration in the South Bank.
- 1.3.3 Through defining the existing policy context and recognising city-wide ambitions, this Planning Brief establishes key principles for success to facilitate the comprehensive regeneration and place-making of Temple District in line with the Vision.
- 1.3.4 As well as providing guidance for development within the Comprehensive Development Zone/Temple District, this Temple District Planning Brief also highlights key considerations for development within the wider Zone of Influence for the District to provide continuity and connectivity.
- 1.3.5 Development proposals for sites surrounding the CDZ will need to demonstrate how they have taken into consideration the principles and objectives within this brief. Further guidance on this is provided at [Appendix 1](#).
- 1.3.6 This Brief also acknowledges the potential risks and barriers to success, including the limitations of piecemeal development and the significant funding and delivery challenges associated with the stabilisation and repair of Temple Works. Temple Works is subject to a substantial conservation deficit.

A conservation deficit is the amount by which the cost and repair (and conversion to optimum viable use if appropriate) of a heritage asset exceeds its market value on completion of repair and conversion, allowing for all appropriate development costs<sup>1</sup>.

- 1.3.7 The significant funding challenges of meeting the Temple Works conservation deficit have arisen mainly because of the condition of the building. It has deteriorated significantly over decades and suffered structural failure in 2008 which resulted in collapse of part of the frontage and that section of the building being supported by scaffolding. Subsequently, both Temple Mill and the Gate Lodge are identified on Historic England's Heritage at Risk Register.
- 1.3.8 Temple Mill and The Gate Lodge were previously identified as Priority Categories A and C on the Heritage at Risk Register respectively. However, after recent urgent works to ensure weather proofing, they are now identified as Priority Categories B (immediate risk of further rapid deterioration or loss of fabric; solution agreed but not yet implemented) and D (slow decay; solution agreed but not yet implemented).
- 1.3.9 Given the complex structural issues and highly graded status of Temple Works, there is a significant conservation deficit is significant to bring the building back into use because (the cost of repairing the building outstrips the market value of the asset once repaired). Owing to this, conventional 'market' development at the site is considered to be unviable and it has been recognised by the Council's Executive Board that public sector intervention is required to secure the future of Temple Works, including the potential use of compulsory purchase powers.<sup>2</sup>
- 1.3.10 Temple District is also made up of numerous and complex land ownerships. In the past this has resulted in a piecemeal approach to development that has failed to deliver comprehensive regeneration and find a long-term solution for Temple Works. There is a risk that a continued piecemeal approach will not deliver sensitive comprehensive regeneration of the Temple District and there will be missed opportunities for cohesive and exemplary place making.
- 1.3.11 Parts of Temple District and adjacent areas currently suffer from severance issues, particularly with communities to the south and west of existing railway and road infrastructure. Comprehensive development of Temple District provides an opportunity to address connectivity issues in the area having regard to the Connecting Leeds Transport Strategy, Our Spaces Strategy, and wider objectives for Leeds South Bank. The approach within the Temple District should act as a catalyst for connections outside it to provide links to and from surrounding communities and through to the wider City Centre.
- 1.3.12 This Brief sets out how these potential barriers can be addressed through a co-ordinated approach which will not only secure the future of Temple Works in an enhanced setting through potential design and cross subsidy opportunities presented by adjacent sites, but also by guiding and supporting the delivery of sensitive regeneration, integrated public open spaces, improved connectivity and sustainable travel options.
- 1.3.13 In March 2021 Executive Board recognised the importance of a coordinated and planned approach to delivery of regeneration within South Bank and the ambition of securing a long term, sustainable re-use of Temple Works, including the need for potential assembly of third party land to facilitate this.<sup>3</sup> Executive

Board resolved to note the ongoing efforts to secure comprehensive development within the Temple District, which includes the progression of this Planning Brief. Executive Board also agreed to amend the potential Temple Works-related CPO boundary to ensure that any future use of compulsory purchase powers is linked directly to proposals to secure Temple Works, with a further report to be brought back to Executive Board on the potential of formal CPO resolutions, should private treaty negotiations not succeed.

1.3.14 The purpose of the Temple District Planning Brief is therefore to:

- Provide a consolidated framework for **Temple District** and a clear pathway for future planning application(s) so that developers are clear on the Council's expectations for development and to enable the Council to respond positively to the application(s);
- Support potential future CPO(s) for land surrounding Temple Works; and
- Secure and retain funding related to Temple Works.

## 1.4 Status of the Planning Brief

1.4.1 The Temple District Planning Brief has been prepared by Leeds City Council as the Local Planning Authority, in consultation with key stakeholders within the area such as landowners, the community, statutory consultees, and service providers.

1.4.2 Once approved, this Planning Brief will play a key role in shaping future development proposals for the Temple District. The Planning Brief should be used as a supplementary planning guidance document by developers when preparing proposals for development within Temple District and is a material consideration for use by the Local Planning Authority when determining planning applications within its boundary. Guidance is provided at [Appendix 1](#) for sites surrounding the Temple District boundary and the Brief will also be a material consideration in decision making for those sites.





# Strategic Priorities

## 2.0 Strategic Priorities

2.1.1 This Planning Brief has been prepared giving consideration to the social, economic and environmental priorities for the City as set out in the following strategic plans:

- Leeds Best Council Plan (2020 – 2025)
- The Leeds Climate Emergency Declaration (2019)
- Leeds Culture Strategy (2017 – 2030)
- Leeds Our Spaces Strategy (2020)
- Leeds Inclusive Growth Strategy (2018 – 2023)
- Leeds Health and Wellbeing Strategy (2016 – 2021)
- Leeds Economic Recovery Framework (2020)
- Connecting Leeds Transport Strategy (2021)
- The Development Plan for Leeds

2.1.2 For further detail on how these strategies have influenced the Planning Brief, see [Appendix 3](#).

## 3.0

# Context

## 3.0 Context

### 3.1 Evolution of Temple District

- 3.1.1 Temple Works sits at the heart of the Temple District, the exceptional significance of which is acknowledged in existing planning guidance and in academic texts, due to its architectural, engineering and social historic importance. It has Grade I Listed status which is the highest level of listing, reflecting the fact that Temple Works is not only of national but also international importance for the role it played in the development of the textile industry. Temple Works is best known for its Egyptian façade to Marshall Street, but its innovative engineering and layout is just as remarkable.
- 3.1.2 Prior to the industrialisation to the south of the river area, Temple District was undeveloped pastureland. Over the course of the 19th century, the area became heavily industrialised, maximising use of water infrastructure within the area to provide steam power and proximity to the railway to access coal resources. Marshall's first flax Mill (built in 1791 and located between Water Lane and Globe Road just to the east of where the disused viaduct now lies) represented the first industrial building in Leeds and thus marked the birthplace of the industrial revolution in the city. It was closely followed by other textile-related development, many of which buildings still remain.
- 3.1.3 Temple Works comprises a site approximately 13,000sqm and includes two separately listed buildings, as follows:
- Temple Mill – Grade I (listing ref: 1375162)
  - Gate Lodge to Temple Mill – Grade II\* (listing ref: 1375116)
- 3.1.4 Temple Mill was built to spin flax during 1838 – 1840. The design of its façade was based on, in part, the Temple of Horus at Edfu in Egypt. In order to maintain suitable humidity and temperature levels to prevent the linen thread from drying out and breaking, the Mill's distinctive roof was



covered in turf. To maintain the turf, a hydraulic lift was installed which transported sheep to the roof to graze.

- 3.1.5 It became a clothing factory in 1886. From 1937 to 1953, a mail-order catalogue company occupied the building, which then became the Northern Headquarters of Kay's Catalogue up until 2004. In 2008 there was a structural failure which resulted in the collapse of part of the roof and façade.
- 3.1.6 The pioneering development of the textile industry and engineering works in this area gives Temple District a distinctive character as a powerhouse and a serious claim to be one of the birthplaces of the industrial revolution. The locus of industrial and engineering works, including at the Round Foundry, combined with John Marshall's philanthropic approach led to the development of social infrastructure to support mill workers, including the development of terraced back to back housing, an infant school, a bath house, an Evangelist church, Catholic chapel, a larger school, Holbeck Public Library, Holbeck Mechanics Institute, the Commercial Pub and Liberal Club. The majority of these have now been lost, however development at Temple provides an opportunity to re-instate this part of the Leeds South Bank as a thriving and sustainable neighbourhood.
- 3.1.7 The decline of the heavy industries in the 20th Century saw smaller scale manufacturing and printing industries occupy the area. Clearances of the terraced housing in the 1940s resulted in the loss of the established residential community contributing to isolation from the rest of Holbeck and the wider City Centre.

## **3.2 Temple District at Present**

- 3.2.1 Temple District covers an area of 11.75ha of land which includes a mix of historic buildings which reflect the industrial heritage of the area but are now in varying levels of condition. There are also a number of vacant buildings, previously in industrial and warehousing use, with some small-scale mechanics' activity in the viaduct arches, and light industrial uses at Leodis Court, opposite the Temple Works façade.
- 3.2.2 In addition, there is a vast amount of cleared and semi-derelict vacant land, particularly in the south and south western parts of the District along Sweet Street West and Bath Road, with a large amount of on-street parking (much of it unauthorised), all of which compromise the character of the area.
- 3.2.3 There is development activity within northern part of the district with the Globe Road / Water Lane site commenced in May 2021 for office use at Globe Point. This development will provide phased delivery of mixed-use development, including offices, retail, leisure and residential, with further Reserved Matters applications expected in future. In addition, proposals have come forward in the southern part of the CDZ for the re-development and re-use of the 1953 Building, now known as Draper's Yard for office use. A more recent application involves the use of this building for clinical

research, with the demolition of 20 Sweet Street to form a car park, both of which are in close proximity to Temple Works.

- 3.2.4 Temple District contains a number of designated and non-designated heritage assets, including:
- Temple Works (Grade I, Listing ref: 1375162)
  - Gate Lodge (Grade II\*, Listing ref: 1375166)
  - Marshall Mills School (Grade II, Listing ref: 1375160)
  - Printworks: Frontage building part identified as a non-designated heritage asset within the Globe Road / Water Lane planning permission
  - Globe Iron Foundry Fitting Up Shop (Globe Quay) (Grade II, Listing ref: 1256244)
  - The Viaduct Arches: passes through Temple District from Holbeck into City Station, identified as a non-designated heritage asset in the Holbeck Neighbourhood Plan.
  - The Commercial Public House: sits adjacent to the southern boundary of Temple District between Marshall Street and Sweet Street and identified as a non-designated heritage asset in the Holbeck Neighbourhood Plan
- 3.2.5 The active uses within the CDZ area at present are typically industrial businesses or sui generis uses which are discordant with the vision for Temple District. These uses do not represent the optimum viable use of the historic assets in the area which require structural repair or improvement work.
- 3.2.6 Many of the routes within the Temple District are used as through-routes for traffic moving through the city rather than traffic which has an origin or destination in the area. Despite this, the area suffers a high degree of severance from both the wider City Centre to the north, and residential communities of Holbeck and Beeston Hill in the south.
- 3.2.7 Permeability within the Temple District is good, although there is a general lack of mobility infrastructure and legibility and wayfinding is poor. There is also a lack of public realm and any significant public space. Generally, east-west permeability is better than north-south. In addition, there are no distinctive gateways into the area (although Globe Point on Water Lane/Globe Road junction is now being developed) and it can be perceived to be unwelcoming to walkers or cyclists, particularly when approaching from the south and west.
- 3.2.8 The above patchwork of vacancy, degraded historic buildings and industrial uses mean that Temple District currently lacks coherence and any sense of place. Regeneration of the area will bring opportunities to bring historic buildings back into use or into an optimum use, in an enhanced setting as part of a distinctive new neighbourhood.
- 3.2.9 Comprehensive development within the Temple District presents an opportunity to enhance connectivity within and through the area so it functions as a new distinctive neighbourhood within the South Bank, rather than as an area to pass through quickly or to park in.

### 3.3 Surrounding Context & Setting



- 3.3.1 Surrounding the Temple District, particularly to the north and to the east of the District, there is much more activity, with a wide variety of uses including offices, residential, creative businesses, food and drink. A number of sites surrounding the District have been subject to successful regeneration activity, bringing new public space and life to this part of the South Bank.
- 3.3.2 Temple District is within walking distance of City Station’s Southern Entrance, providing onward national connectivity. The wider City Centre is also within walking distance, providing access to employment opportunities, shopping and leisure. Further opportunities are provided by upcoming plans for the Eastern Leg of HS2.
- 3.3.3 Marshalls Mill, immediately north of Temple Works and outside of the Planning Brief boundary comprises a mix of office space, media and digital companies and the Northern Monk Refectory.
- 3.3.4 The Round Foundry, to the north east of Temple Works provides contemporary office space within historic buildings for creative, digital and media businesses, residential uses and food and drink businesses.
- 3.3.5 To the north east, planning permission has been granted for the substantial redevelopment of the western half of the Tower Works site which will include the delivery of 245 apartments and a range of commercial uses at ground floor level.

- 3.3.6 Whilst Temple District is in close proximity to residential communities to the south, they are currently “cut off” from accessing the District by road and railway infrastructure, including the viaduct. Bridges crossing the railway line are unattractive and do not provide permeability or encourage walking and cycling through the District. Comprehensive development of Temple District will enable a strategic approach to be taken to improving connectivity, both to Temple District as a destination and as an attractive and safe through-route to the opportunities and activities within the rest of the City Centre and to encourage investment and funding opportunities to links outside the CDZ.
- 3.3.7 Taking the above factors into account suggests that the Temple District is well-positioned not only to deliver a thriving new neighbourhood with a mix of uses, as well as to maximise the District’s proximity to the rest of the City Centre and its position as part of the South Bank. It is therefore critical to ensure that the development of Temple provides the opportunity for high quality connections to be made to surrounding areas, and that it provides the basis for connectivity to employment, retail and leisure, and transport for residential communities to the south.
- 3.3.8 [Appendix 1](#) provides guidance on achieving connectivity between Temple District and surrounding areas, particularly for the southern extent of the CDZ. Development of sites outside of the CDZ boundary should take account of the aspirations for improved connectivity within, to, and through the District and contribute positively to the delivery of new routes and connections as appropriate.

# Planning Policy Framework

## 4.0 Planning Policy Framework

### 4.1 The Development Plan for Leeds

- 4.1.1 This section summarises and consolidates the planning policy context, taking into account the legislative framework for planning, including national and local policy, planning guidance and other material considerations of relevance to development within Temple District. The district is already subject to a wide range of planning policies and it is not the intention of this planning brief to provide the details of this guidance in full, but to signpost and consolidate the principal planning matters that will steer regeneration in Temple District.
- 4.1.2 The statutory development plan for Leeds consists of the Core Strategy (as amended by the Core Strategy Selective Review) (2019), Site Allocations Plan (2019), Aire Valley Leeds Area Action Plan (2018), Natural Resources and Waste Local Plan (2013), and saved policies from the Unitary Development Plan Review (2006) and all made neighbourhood plans. The development plan is supported by a number of Supplementary Planning Documents (SPDs), which are material considerations and provide additional guidance that is specific to Temple District.
- 4.1.3 The starting point for all development proposals is that planning decisions are made in accordance with the adopted development plan for Leeds, unless material considerations indicate otherwise<sup>4</sup>. Additional guidance on Leeds planning policies is provided by relevant SPDs. Proposals coming forward for Temple District will need to demonstrate how these policies have been taken into account.
- 4.1.4 Guidance provided by this Planning Brief will also help potential applicants to understand how relevant policies and SPD guidance may relate to specific development proposals for Temple District. Applications will be considered on a case-by-case basis and departures from planning policy will need to be robustly justified in accordance with the statutory position.

- 4.1.5 The Development Guidance Section (Section 6) highlights specific development plan policies which link thematically to the relevant principles.

**Saved Policies of Unitary Development Plan Review (2006)**

- 4.1.6 The Leeds Unitary Development Plan Review (UDPR) was adopted in 2006, with a number of policies saved as extant within the Development Plan.
- 4.1.7 Temple Works is identified as an important building and part of the legacy of industrial heritage within the Holbeck Urban Village. Although this description of Holbeck Urban Village has now been superseded for everyday usage it remains extant through adopted development plan policy. It is recognised within the UDPR that the area is in need of ‘focused regeneration’. In an aim to regenerate the area as a physically, socially and economically sustainable community, the UDPR set out the purpose of the proposed ‘urban village’ allocation (Policies CC31A and H3-1A.44). The main ambition for the allocation was to protect and enhance the built heritage, whilst providing new employment and training opportunities and encouraging affordable housing and environmental improvements to the public realm, including open public space, pedestrian routes, and access to the Hol Beck and the Leeds Liverpool Canal.
- 4.1.8 The UDPR policies have been partly saved and partly superseded by the Site Allocations Plan.

**CC31A/H3 1A.44 HOLBECK URBAN VILLAGE STRATEGIC HOUSING AND MIXED USE SITE**

- Part saved by Secretary of State’s Direction in June 2009 (SAP sites HG1-463; HG1-464; MX1-12(part); MX1-13; MX1-14; MX1-15; MX1-16; MX1-17 and EG1-62).
- Part superseded by SAP Policies HG2 and MX2 (sites HG2-194, HG2-195, HG2-208, MX2-30 MX2-35)

**Leeds Core Strategy (as amended by the Core Strategy Selective Review) (2019)**

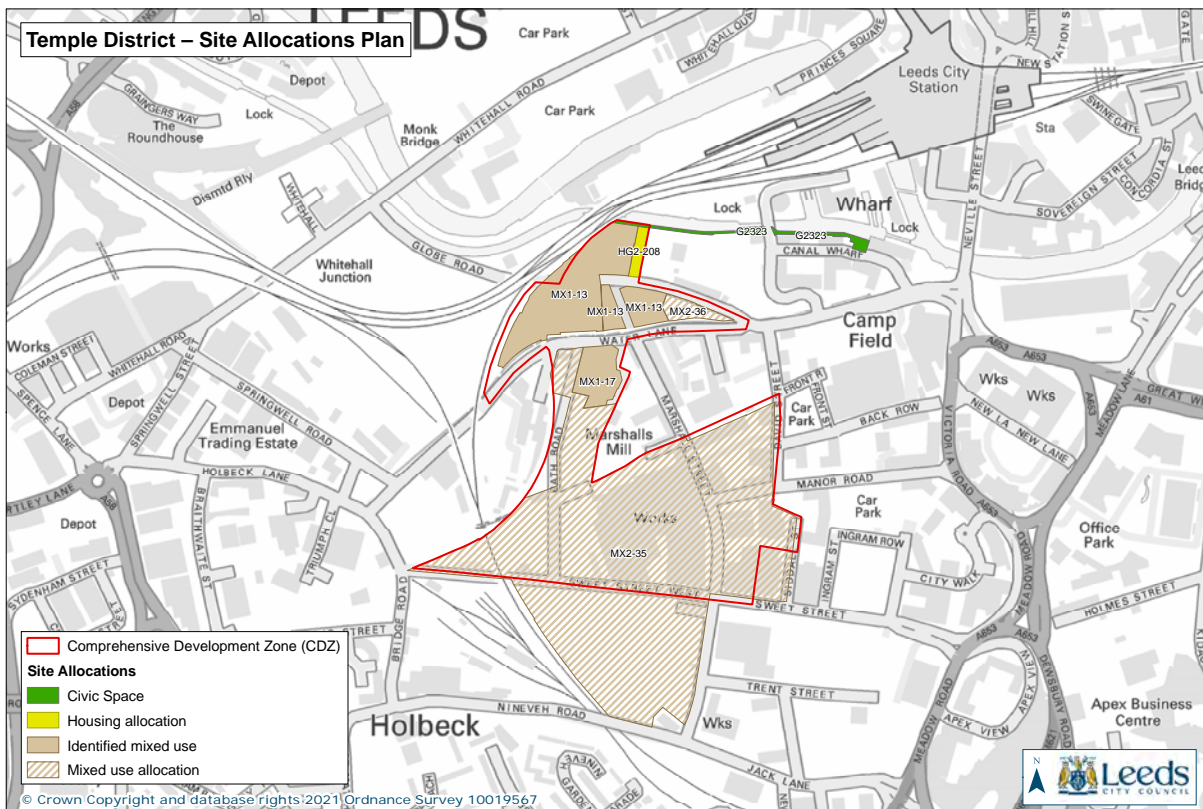
- 4.1.9 The Core Strategy’s spatial policies seek to support residential and commercial development in sustainable and accessible locations within Leeds City Centre. Temple District is identified as a city centre location and identified within a number of policy objectives, including for regeneration, mixed use development, the growth of the City Centre, improved connectivity between communities, improved transport options and the preservation of heritage assets.
- 4.1.10 Under Spatial Policy 2, the City Centre and Main Urban Area are identified to provide the major focus for development especially on previously developed land to the south of the river. Spatial Policy 3 identifies the significant development opportunities of the Holbeck Urban Village. Policy CC2 seeks to ensure that the north and south halves of Leeds City Centre are more effectively integrated and better connected whilst CC3 seeks provide and improve routes connecting the City Centre with adjoining neighbourhoods. Policies CC2 and CC3 also support measures that make walking and cycling easier, safer and more attractive.



- 4.1.11 Policy P11 supports ‘conservation-led regeneration’ and seeks to conserve and enhance elements which help to give Leeds its distinct identity, including preservation of nationally significant heritage relating to the city’s textile, tanning and engineering industries.
- 4.1.12 These key Core Strategy policies provide in principle support to large-scale regeneration proposals for Temple District.

**Leeds Site Allocations Plan SAP (2019)**

- 4.1.13 The Site Allocations Plan (SAP) was adopted in July 2019 and allocates sites for housing, employment and areas for mixed use development, in addition to those allocated in the UDP and AVLAAP. The purpose of the SAP is to assist in delivering the long-term spatial vision, objectives and policies of the Leeds Core Strategy.
- 4.1.14 The SAP identifies and allocates a number of sites within the CDZ boundary and also sets out site specific requirements, including:
  - i. MX2-35 Temple Works
  - ii. MX2-36 Water Lane Car Park
  - iii. HG2-208 Globe Quay, Globe Road
  - iv. MX1-17 Bath Road
  - v. MX1-13 Water Lane/Globe Road
- 4.1.15 Development proposals must take account of Site Allocations Plan site requirements where development falls within one of the above sites. See [Appendix 2](#) for further details of SAP site requirements.



- 4.1.16 Several SAP allocations within and in the area of influence of the CDZ have been brought forward for development. Including the development of the MX1-14 Tower Works (19/03590/FU) allocation and permission being granted for the north of the District which covers part of the MX1-13 allocation and MX2-36 at Water Lane and Globe Road (17/06455/FU).
- 4.1.17 These sites set a precedent for the feasibility of the principle of development within the allocations and within the CDZ, however there are risks that continued piecemeal development will not deliver the strategic ambitions for the area or bring about a sustainable, long-term solution for Temple Works.
- 4.1.18 A comprehensive approach to development within the Temple District is supported as it would enable a strategic approach to place-making within the District, enhancing the setting of Temple Works within a Comprehensive Development Zone, with a focus too on spaces between the buildings, and leading to cumulative viability and potential additional cross-subsidy benefits for the repair of Temple Works.

**Holbeck, South Bank SPD (2016)**

- 4.1.19 The aim of the Holbeck, South Bank SPD is to create vibrant, sustainable, mixed use communities whilst safeguarding the unique historic character of the area. The whole of Holbeck, South Bank, is identified as a mixed-use area which should include a mixture of working, living, retailing and recreational opportunities. For sites over 0.5ha 20 per cent of the gross site area should be provided as publicly accessible open space. It is intended that the area should meet some of the identified need for City Centre housing for people on lower incomes. Housing types such as live/work units and family housing is encouraged.
- 4.1.20 Further improvements to connectivity including along the southern canal footpath, utilising the disused viaduct and along Hol Beck, are encouraged. At the same time a pedestrian and cycling friendly environment is sought in part by minimising through traffic in the area. Encouragement will also be given to the aim of achieving the minimum acceptable parking provision alongside other modes of travel.

**South Bank Leeds Regeneration Framework SPD (2018)**

- 4.1.21 The South Bank Regeneration Framework was adopted in September 2018 and sets out a vision and promotes regeneration opportunities within the South Bank area.
- 4.1.22 Principle 3 establishes that development will need to support activities which will secure the future of Temple Works and preserve and enhance the heritage of the area. The framework also sets out several strategic green (or public realm) links that will connect Temple Works with other parts of the city.
- 4.1.23 The Framework recognises the importance of enhancing connectivity within the South Bank. This includes proposals for ‘The Arbour’, a new major east-west route linking Temple Works and Leeds Dock. This new proposed green axis combines re-designed streets such as Back Row (east

of Temple District), the HS2 midpoint forecourt and a variety of public spaces. It will also link to north-south aspects of the Framework Area including Hunslet Stray.

- 4.1.24 Section 5 of the Framework focuses on open space, movement, built form character and integration. It illustrates a number of green links at strategic and finer grain levels which contextualises Temple District within wider South Bank ambitions. The section also includes principles for good public spaces, as well as outlining the importance of existing heritage in acting as a catalyst for regeneration which informs new development.

#### **Holbeck Neighbourhood Plan (2018)**

- 4.1.25 The Holbeck Neighbourhood Plan sets a clear ambition for regeneration of the Holbeck Neighbourhood Area, including for high quality housing and employment opportunities, taking account of historic character, strong green links and improved connectivity between Holbeck and the City Centre. Whilst the Holbeck Neighbourhood Plan does not include Temple District, there are clear links between the vision for Temple District and the aspirations within the Neighbourhood Plan.
- 4.1.26 Development proposals for Temple District should demonstrate how they have had regard to the aspirations within the Holbeck Neighbourhood Plan, seeking opportunities to promote links and helping to deliver the Neighbourhood Plan vision, particularly around heritage and employment/skills training.

## 5.0

# Development Context

## 5 Development Context

### 5.1 Planning Application History

- 5.1.1 Temple District has been allocated for mixed use development in order to encourage growth and regeneration. As such, Temple District and the wider area has seen increased development activity and planning permissions granted submissions over the last 10 years, although many have not been implemented.
- 5.1.2 Planning applications and schemes within and surrounding Temple District have been determined in accordance with national planning policy, the Development Plan for Leeds and planning guidance (including the SPDs). Principles within these documents, as well as site-specific principles established through existing planning consents have informed guidance within the brief.

### 5.2 Barriers to Delivery

- 5.2.1 Despite significant progress being made within the wider South Bank to progress the ambitions for the area, with the delivery of major new residential-led development now on track, there remain significant barriers to achieving comprehensive development and regeneration within Temple District, including:
- Fragmented ownership
  - Connectivity and need for holistic infrastructure interventions
  - Economic recovery measures
  - Level of investment required for Temple Works
- 5.2.2 These apply particularly in terms of delivering new employment uses such as new build Grade A workspace. There is a current imbalance and a backlog of grown demand and inward investment across the City Centre for new workspace and Grade A offices near to transport hubs.



- 5.2.3 There are a number of managed flexible workspaces across the South Bank area, however there is a lack of space with larger floorplate availability for growing businesses or relocations on longer term leases and lack of new build commercial development of the type required by occupiers. The mixed use nature of the area requires a blend of uses and new employment can create and sustain the delivery of new jobs and skills training across the area, as well as providing vibrancy to support associated ancillary uses – all of which is vital to the long term sustainability of Temple District and to the economic recovery of Leeds as a whole.
- 5.2.4 As set out within existing SPD guidance, the principal objective for Temple District is to secure a sustainable future for Temple Works in an enhanced setting. Supporting this will be re-development which provides a new mixed-use and well-connected neighbourhood as a key component of the South Bank, unlocking economic, social and environmental benefits for the wider area.
- 5.2.5 Whilst there are a number of extant consented schemes within Temple District and the wider area, many have failed to come forward and there remains an ongoing risk of market failure to bring forward schemes that will contribute to the economic, environmental and social wellbeing of the area as a whole. The mix of landowners in the area currently acts as a barrier to delivering a comprehensive scheme.
- 5.2.6 This Planning Brief therefore advocates a comprehensive approach to the development and regeneration of the whole of Temple District, as has been agreed by Executive Board (in November 2018 and March 2021). A comprehensive approach will enable the delivery of a Climate Ready and Nature Friendly approach to placemaking in accordance with the ambition of this Planning Brief, as well as enabling a cohesive approach to development in terms of design, connectivity, public realm and sustainability.

## 6.0

# Development Guidance

## 6.0 Development Guidance

### 6.1 Strategic Principles for Development

6.1.1 This planning brief clarifies how existing development plan policies and supplementary planning guidance applies to Temple District. Planning applications should have regard to the following strategic considerations:

- High quality, sustainable, and resilient design in line with the ten characteristics set out in the National Design Guide;
- Place-making and public open spaces including integrated green and blue infrastructure, optimising and prioritising walking and cycling;
- Mix and flexibility of uses;
- Housing mix and affordability;
- Encouragement of high quality employment opportunities, for example digital and cultural sectors alongside commercial uses;
- Scale and massing, particularly in the context of existing heritage infrastructure and other development schemes within and surrounding the CDZ;
- Conservation objectives for Temple Works as well as the wider Holbeck Conservation Area;
- The relationship between new development and existing heritage assets, in particular key views and materials;
- Connectivity within the CDZ and to surrounding communities, including east-west ('the Arbour') and north-south between the City Centre and Holbeck and Beeston Hill;
- Connectivity with and relationship to the rest of the City Centre including Granary Wharf and the City Station;
- Public realm;
- Sustainability and Climate Emergency priorities (including existing Local Plan policies); and
- Flood risk, taking account of the impact of the completion of the Flood Alleviation Scheme Phase 1, existing flood risk sequential and exception tests, and sustainable drainage.

## 6.2 A Climate Ready and Nature Friendly Approach

- 6.2.1 In line with the Council's declaration of a Climate Emergency in March 2019 and with the Council's objectives for the Local Plan Update (Regulation 18 Consultation taking place throughout summer 2021), development proposals in Temple District will be expected to demonstrably embed appropriate sustainable development principles at the earliest possible opportunity.
- 6.2.2 Comprehensive development within Temple District allows for the strategic consideration of the environmental benefits and the value that the whole of the district can bring to Leeds South Bank and to the city in collaboration with stakeholders in sustainability terms in order to ensure that development delivers a neighbourhood that is **climate ready and nature friendly**.
- 6.2.3 In practical terms this means that the Council expects a strategic approach to development in the District that seeks to co-locate and layer the delivery of multi-functional infrastructure in the area to address key policy requirements and enhance place-making within the District in the context of other committed infrastructure and future public investment opportunities.
- 6.2.4 In order to do this, development proposals within Temple District should set out a strategy which addresses the following critical considerations for climate ready and nature friendly place-making:
- Green space, public realm and open space (Section 6.3)
  - Green and blue infrastructure connectivity (Section 6.4)
  - Biodiversity (Section 6.5)
  - Drainage (Section 6.6)
  - Flood risk (Section 6.7)
  - Sustainability built in to the design (Section 6.8)
  - Connectivity and permeability (Section 6.9)
  - Connectivity to local communities (Section 6.10)

## 6.3 Green space, Public Realm and Open Space

- 6.3.1 It is anticipated that public open space within the CDZ will be delivered through a combination of formal and informal spaces. Core Strategy Policy G5 requires that for sites over 0.5 hectares within the City Centre, open space provision will be sought as follows:
- (i) Commercial developments to provide a minimum of 20% of the total site area,
  - (ii) Residential development to provide a minimum of 0.41 hectares of open space per 1,000 population,
  - (iii) Mixed use development to provide the greater area of either 20% of the total site area or a minimum of 0.41 hectares per 1,000 population of open space.

### **General Principles for Public Realm and Open Space**

- 6.3.2 Multiple areas of high-quality public space at a variety of scales will be needed to enable connectivity and deliver a cohesive and legible public realm for Temple District which enhances the setting of Temple Works. These spaces should be delivered as part of the overall strategy and delivered using a phased approach. Contributions will be sought to the Holbeck Urban Village public realm fund if it is not possible to provide the policy-required open space within or adjacent to the development.
- 6.3.3 Larger public open spaces should be used to create civic-scale areas of public realm that are functional, engaging, flexible, allow for large numbers of people to gather and pass through, and provide opportunities for outdoor events.
- 6.3.4 A secondary layer of spaces and public squares that relate more directly to their surroundings should be delivered. These will relate more to the nature and scale of surrounding buildings to serve the immediate vicinity.
- 6.3.5 Smaller pockets of incidental spaces should provide generosity to the streetscape and an enhanced pedestrian environment. They should link to the main routes through the area and provide an opportunity to re-instate some of the historic grain of the area where possible.
- 6.3.6 Spaces should signpost and facilitate through movement within Temple District and to the wider South Bank area, but also act as attractive, functional, green or usable open spaces for a range of uses and build on the area's heritage. Active frontages to ground floors are encouraged to bring life and activity to the area and to complement public spaces.
- 6.3.7 They should be accessible to all, not just residents or occupiers of new development, and provide space for socialising, rest, play, as well as have the ability to support and promote the city's culture through public art installations and spaces for events in line with the Leeds Our Spaces Strategy.
- 6.3.8 Tree planting and greening should be a key priority for streets, public realm and open space to help soften the appearance of these areas and also to provide sheltered space.
- 6.3.9 A continuous palette of materials for street lighting and street furniture should be used throughout to help unify the area and to provide identity.
- 6.3.10 Spaces should be sustainably designed to be climate ready and have the ability to alleviate the negative effects of wind and rain through good placement and supportive built form that can help ensure a quality urban environment.
- 6.3.11 Open space should also make the most of water assets through providing access to and integration of the waterfront where appropriate.

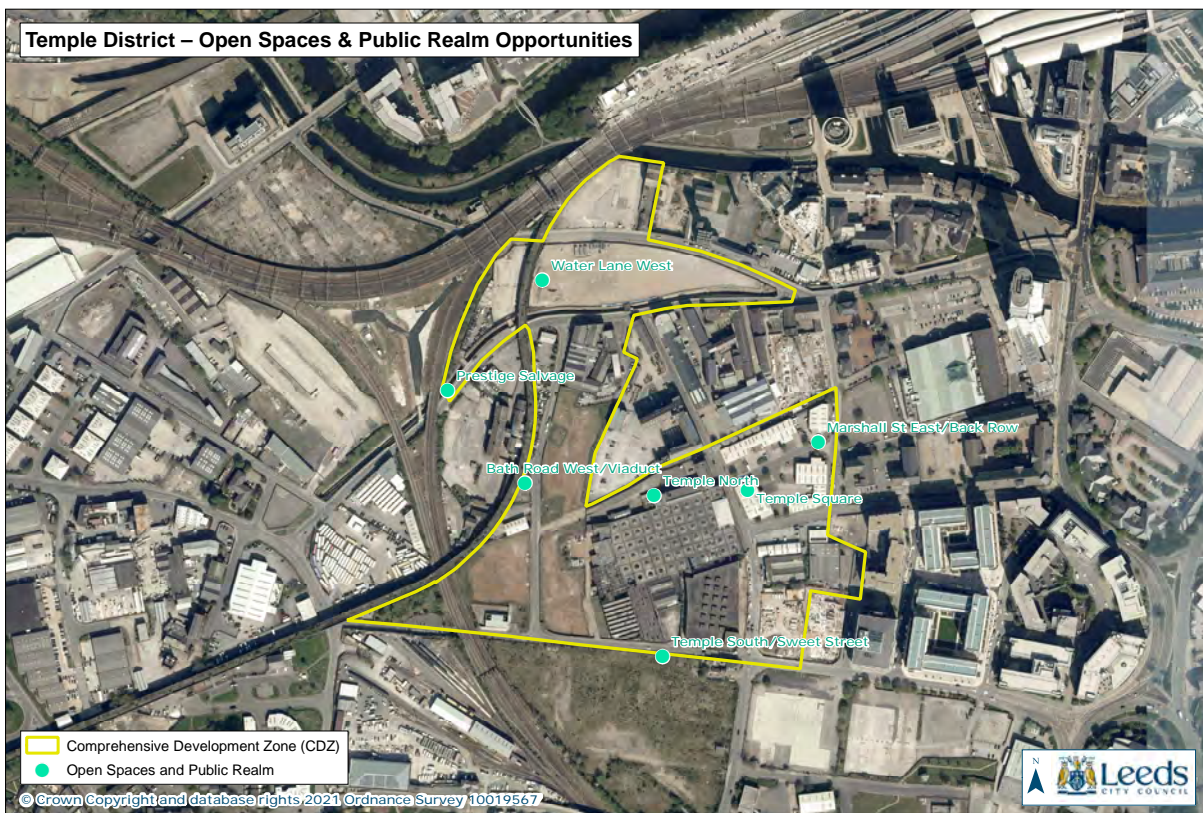


### Site Specific Guidance

- 6.3.12 Temple Square: Temple Works is in need of an improved setting and an exemplar public space of the highest quality will be sought to the east of the building. It should provide an arrival point and large public square setting for Temple Works as well as provide a civic, educational and cultural focus for the area. The square should facilitate through movement and way finding, but also have function as a space in its own right, providing the opportunity for rest, leisure and play. The square should frame any key vistas towards Temple Works and other heritage assets.
- 6.3.13 Temple North: A Public Right of Way (PROW) route runs from Holbeck along Balm Walk, through Domestic Street, along Bath Road to the back of Temple Works via Derwent place on to Leodis Court. This route reflects the historic grain of the area, as well as the connections the site has with Holbeck. There is an opportunity to provide a public open space along the PROW route at Derwent Place and Union Place, which should be lit and generally enhanced, which would not only enhance the setting to the north of Temple Works, but also connect to a series of other smaller and incidental open spaces along the route, including a proposed potential pocket park at Bath Road, and along to existing designated green spaces in Holbeck along existing routes. Such a space will improve east-west connections whilst providing a pedestrian friendly green link across the heart of the District that also reflects the historic grain of the area.
- 6.3.14 Bath Road Viaduct: The narrow linear space between Bath Road and the railway viaduct should be kept as a forecourt type open space in order to allow any future activities within the arches to spill outside. These smaller spaces within the forecourts should be interlinked and well connected to pedestrian routes in order to promote legibility. However, where the space widens significantly to both north and south there is scope to accommodate buildings at scale between the viaduct and Bath Road as well as maintaining a forecourt-type space for the arches. A green buffer could be provided alongside much of the viaduct in order to preserve appropriate future access to the highline and connect to the Sweet Street South site, buildings may also provide innovative ways to relate to the potential highline.
- 6.3.15 Marshall St East / Back Row: This space (subject to ownership) should provide onward connectivity to the HS2 mid-station forecourt and provided an accessible pedestrian environment, connecting to The Arbour route. Temple District's design should ensure that this is facilitated and not prejudiced.
- 6.3.16 Temple South: The south of Temple District is bounded by Sweet Street which has been identified as a green corridor in line with Core Strategy Spatial Policy 13, Policy G1 of the Core Strategy and Policy G1 within the Holbeck Neighbourhood Plan. Marshall Street is also identified within this, extending south beyond the CDZ boundary. The proposal for Sweet Street West as a green corridor provides opportunity for a southern entrance to Temple Works that links to a series of smaller and incidental public realm/green spaces as well as supporting active travel. A proposed smaller green space adjacent to Drapers Yard could break up frontages along Sweet Street West and provide a direct link to Temple Works from the wider area to the south of Sweet Street (outside of Temple District). It could provide connections to Marshall Street South and the designated Local Green Space at Nineveh Road adjacent to Holbeck Library, and to

future opportunities for links to Holbeck via potential new and enhanced pedestrian and cycle connections.

- 6.3.17 Water Lane / Globe Road: The site will feature a series of landscaped public realm linkages, that will improve permeability through Temple District and the Globe Road / Water Lane scheme. Water Lane will act as a central axis that will link Beck Court and Marshall Street, over the listed bridge and through the site upwards towards Globe Water Side, promoting north-south connectivity. These smaller squares and open spaces should be supported by active ground level frontages that will encourage activity as well as enhance the setting of the buildings. Where appropriate and services permit, trees along key streets should be introduced to define areas of public realm and pedestrian connections through the site, this will also soften the appearance of public open space. The proximity of Water Lane to the canal and the Hol Beck should be reflected within the area's design, with potential inclusion of water features within the public realm, if appropriate.
- 6.3.18 In line with the approach adopted by the Holbeck South Bank SPD, a co-ordinated approach to open space delivery is required. Development proposals within Temple District should be based on a thorough contextual analysis and be of the highest quality design, promoting world class architecture and public realm benefitting the area's strategic location, historic legacy and distinct



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sense of place.

## 6.4 Green and Blue Infrastructure

- 6.4.1 Temple District includes parts of the Hol Beck and Leeds- Liverpool Canal and is also positioned within the Leeds Habitat Network. Its location means that the area is covered by several policy initiatives which encourage enhancement of green and blue infrastructure and biodiversity improvements at the heart of South Bank.
- 6.4.2 There is an expectation that green and blue infrastructure, combined with segregated mobility infrastructure will be used to stitch Temple District together, both within the District and to surrounding communities and the wider City Centre. This will deliver an enhanced environment for pedestrians and cyclists alongside environmental benefits.
- 6.4.3 In line with Spatial Policy 13, and policies G1 and CC3 of the Core Strategy, a hierarchy of strategic and finer-grain green corridors should be provided through the District which connect to the wider area outside of the CDZ boundary. The strategic green network will consist of streets, paths, open spaces and public realm that connects Temple, South Bank, the wider City Centre and adjacent neighbourhoods. Combined with a finer-grain network they can offer a choice of movement routes for pedestrians and cyclists. This should include a landscaping treatment which helps to provide a valuable network for wildlife to aid biodiversity, deliver sustainable urban drainage solutions, as well as helping to deliver health and well-being benefits for the area.
- 6.4.4 Development should take opportunities to provide finer grain and strategic green routes and connections to public realm at the waterfront, Globe Road/Water Lane, Round Foundry, Marshall's Mill and Midland Mill to bring these spaces into a wider whole.
- 6.4.5 The importance of identifying, linking and extending Strategic Green Infrastructure is integral to Leeds' climate resilience. Spatial Policy 13 identifies key corridors that should be maintained and enhanced in partnership with others. South Leeds (including the Morley-Middleton-Holbeck corridor) is identified within Spatial Policy 13 as a key corridor and covers the boundary of Temple District.
- 6.4.6 Building on Spatial Policy 13, Core Strategy Policy G1 provides a framework to manage long term provision of Green Infrastructure. It outlines that where new development is considered acceptable within or adjoining areas defined as Green Infrastructure, development proposals should ensure that:
- (i) Green infrastructure/corridor function of the land is retained and improved, particularly in areas of growth,
  - (ii) Where appropriate, the opportunity is taken to extend Green Infrastructure by linking green spaces or by filling in gaps in Green Infrastructure corridors, including (where relevant) extending these into Leeds City Centre. Street trees and green roofs are particularly encouraged,
  - (iii) A landscaping scheme is provided which deals positively with the transition between development and any adjoining open land,

- (iv) The opportunity is taken to increase appropriate species of woodland cover in the District,
- (v) Provision for and retention of biodiversity and wildlife,
- (vi) Opportunities are taken to protect and enhance the Public Rights of Way (PROW) network through avoiding unnecessary diversions and by adding new links.

In keeping with the ability of Green Infrastructure to provide biodiversity benefits, Policy G9 sets out the Leeds Habitat Network. Part of which falls within the CDZ boundary at Sweet Street South, Bath Road and along the Western Viaduct. It sets out that developments are required to demonstrably deliver biodiversity improvements, and to ensure that there is no significant adverse impact on the integrity and connectivity of the Leeds Habitat Network through new development.

### **Holbeck Neighbourhood Plan**

- 6.4.7 Policy G1 of the Holbeck Neighbourhood Plan identifies the southern boundary of the CDZ as a Local Green Corridor (LGC4: Sweet Street/Marshall Street). The Local Green Corridor runs across Sweet Street and Sweet Street West and intersects down to the bottom of Marshall Street, linking to the Nineveh Road Local Green Space.
- 6.4.8 The plan identifies that LGC4 provides an opportunity for an avenue of planting along the entire south side of Sweet Street, outlining that new development should include provision of green space and/or planting appropriate to the scale of development including street trees, safe cycling routes and footpaths where possible.

### **Key Routes**

- 6.4.9 Sweet Street/Marshall Street: Spatial Policy 13 and Policy G1 of the Core Strategy and policy G1 of the Holbeck Neighbourhood Plan all encourage the retention of Sweet Street as a Green Infrastructure Corridor. Its positioning on the boundary of the CDZ provides an opportunity (alongside development to the south) to enhance east – west, north - south connections as well as links to Holbeck through street trees, planting, safe cycle ways and footpaths.
- 6.4.10 Central Corridor: In line with Spatial Policy 13, Policy G1 and G9 of the Core Strategy there is opportunity to create a Central Corridor that promotes sustainable travel and is independent from the highway network. It runs from Holbeck along Balm Walk which is designated as a Local Green Space (LGS8) within the Holbeck Neighbourhood Plan (outside of the CDZ boundary), through Domestic Street, along Bath Road to the back of Temple Works via the public footpath to Derwent Place and onwards to Leodis Court. It could strengthen existing east – west connections and join green space/public realm within Holbeck to Temple District, HS2, and onwards to Leeds Dock via the route of The Arbour.
- 6.4.11 Holbeck Viaduct /Western Viaduct / Highline: Core Strategy Policy G9 identifies the Viaduct as part of the Leeds Habitat Network. Development proposals should consider the potential of a highline project as a possible green route. There is an opportunity to provide green space/public realm along the landing of the Viaduct (along Bath Road as a pedestrian route) which could be enhanced by a building or buildings containing green walls / roof terraces with access provided

from platforms onto the future highline. Project details for the Holbeck Viaduct can be found here: <https://www.holbeckviaduct.org.uk/>

- 6.4.12 Globe Road / Water Lane: Access to the canal should be maintained and enhanced to ensure that development makes the best use of the city's blue infrastructure, and to ensure that Temple District links to proposed canal-side open space at Globe Waterside. Improvements should be made to connectivity and greening routes, including along the southern canal footpath, utilising the disused viaduct and along the Hol Beck. Proposals for this area include:
- Pedestrian access along the north side of Water Lane;
  - An extension northwards of a pedestrian route from Marshall Street to the canal;
  - a route from the canal and across the land between Globe Road and Water Lane;
  - an east-west route providing a footway along the northern side of Hol Beck between the junction of Globe Road and Water Lane and the railway viaduct; and
  - 4 new footbridges across Hol Beck and the restoration and opening to pedestrians of the Listed Hol Beck footbridge.

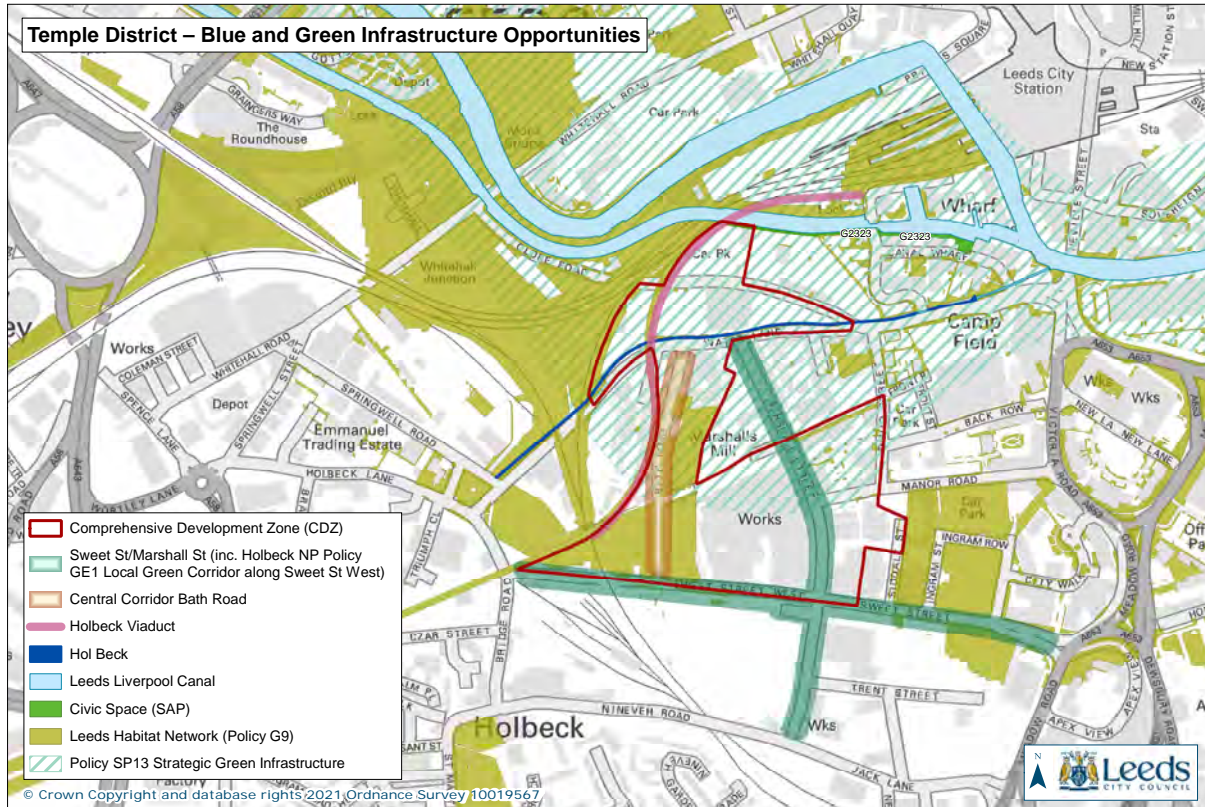
### **Blue Infrastructure**

- 6.4.13 Temple District has a number of blue infrastructure features, including the Leeds Liverpool Canal, the Hol Beck, and the culverted Benyon Beck, features which drove the industrialisation of the area. They provide opportunities for development to integrate blue infrastructure as part of the scheme which can contribute to the climate ready and nature friendly aspiration for Temple District and simultaneously reflect the historic character of the area.
- 6.4.14 In addition, as part of comprehensive development, the opportunity to undertake a joined-up SUDs strategy should be explored to provide water infrastructure within the CDZ. Not only would this reflect the setting of Temple District being close to the canal and waterside, but if appropriate and feasible it would also provide an opportunity to enhance green space / public realm, blue and green infrastructure and would contribute towards biodiversity net gain.
- 6.4.15 The Leeds Flood Alleviation Scheme is one of the largest flood defence projects in the UK, with the first phase of the project completed in 2017, resulting in a substantial decrease in flood risk in the City Centre. It has provided additional protection to 3000 homes and 500 existing businesses, as well as enabling progress on South Bank regeneration. In Temple District, FAS Phase 1 has provided scaled-up flood walls, protected by trief kerbs along the Hol Beck at Water Lane. There has been a long-standing aspiration for the area to open up the Hol Beck for leisure opportunities, however this is likely to be incompatible with FAS Phase 1 and protection against flood risk remains the priority.<sup>5</sup>

### **Landscaping**

- 6.4.16 Landscaping solutions for development sites should accord with the requirements of UDPR Policy LD1 and Core Strategy Policy P12.

6.4.17 Comprehensive regeneration within Temple District will enable the development of an overall landscaping scheme for the site which incorporates the delivery of a cohesive public realm and which joins up blue and green infrastructure with public open spaces.



## 6.5 Biodiversity

6.5.1 Core Strategy Policy G9 identifies the Leeds Habitat Network, part of which is located within Temple District, with key pockets located along Sweet Street West, Bath Road and along the Western Viaduct.

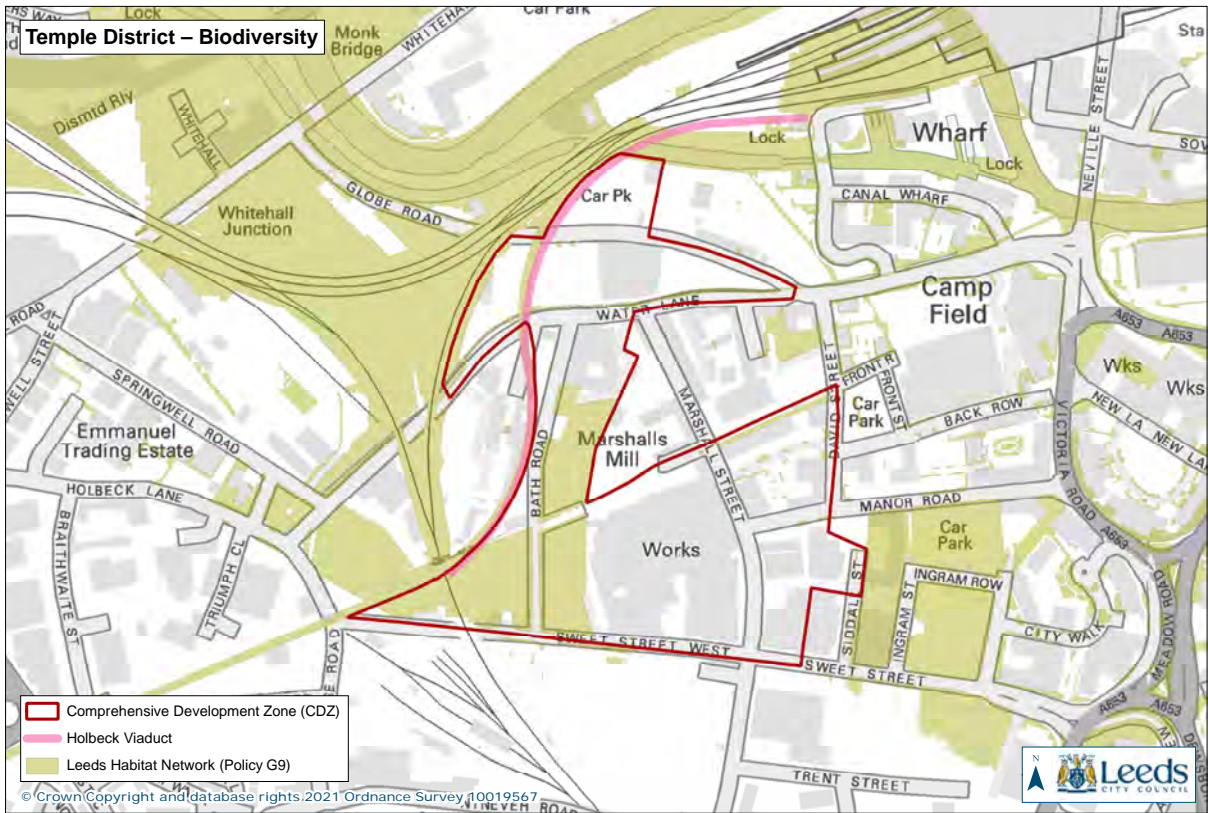
6.5.2 Policy G9 sets out that development will be required to demonstrate biodiversity improvements and will be required to demonstrate:

- (i) That there will be an overall net gain for biodiversity commensurate with the scale of the development, including a positive contribution to the habitat network through habitat protection, creation and enhancement, and
- (ii) The design of new development, including landscape, enhances existing wildlife habitats and provides new areas and opportunities for wildlife, and
- (iii) That there is no significant adverse impact on the integrity and connectivity of the Leeds Habitat Network

- 6.5.3 Biodiversity net gain is an approach to development that leaves biodiversity in a better state than before. It is defined as delivering more or better habitats for biodiversity and demonstrating this using the DEFRA biodiversity metric.
- 6.5.4 To be in line with Policy G9, the NPPF and the Environmental Bill 2020, development within Temple District will also be expected to provide a minimum 10% net gain for biodiversity. Further guidance is provided at: <https://www.leeds.gov.uk/planning/conservation-protection-and-heritage/biodiversity-and-planning>.
- 6.5.5 The comprehensive approach to development in Temple District will enable this to be considered on a wider scale than if development were to be brought forward in a piecemeal way.

### **Principles for Biodiversity**

- 6.5.6 Planting and greening: Proposals should introduce landscape and planting schemes along routes that are selected to attract and support local wildlife, improve biodiversity and soften development and its surroundings.
- 6.5.7 Sustainable design: Sustainable design features such as green roofs and walls will also be encouraged, as they can provide an inherent benefit to biodiversity net gain through providing additional habitats for wildlife, as well as contributing to high quality design.
- 6.5.8 Enhancing the Leeds Habitat Network: In line with Policy G9, development should link enhance the existing habitat network to key routes, encouraging a green network within the District which connects to the wider area.
- 6.5.9 A focus on green corridors: Focusing on green corridors that enhance bio-diversity opportunities, in line with Spatial Policy 13 and Policy G1 of the Core Strategy, and Policy G1 of the Holbeck Neighbourhood Plan.
- 6.5.10 Pedestrian Friendly: Enhancement of existing pedestrian routes to encourage biodiversity as well as to improve finer-grain connectivity.
- 6.5.11 Western Viaduct: Maintaining the potential for public realm along much of the Western Viaduct which could promote biodiversity and provide access to a future high line project along the Viaduct. There are also opportunities for innovative relationships to be considered between new buildings on the larger plots and the potential highline.
- 6.5.12 A focus on water: A joined up open water SUDs strategy would help to promote biodiversity within the area, as well as promoting blue infrastructure.
- Globe Quay: In accordance with the SAP site requirements for site HG2-208, an Ecological Assessment of the site is required and where appropriate, mitigation measures will need to be provided including a biodiversity buffer (not private garden space) and measures to reduce shading onto the canal along north boundary for Leeds Habitat Network.



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## 6.6 Drainage

6.6.1 Parts of Temple District are located within Flood Risk Zones 2 and 3. It will be crucial to ensure that a viable strategy for drainage and flood risk is in place. Having a suitable strategy will enable sustainable and resilient redevelopment, whilst also providing wider benefits for the area.

### An Integrated Approach to Sustainable Urban Drainage Systems (SuDS)

6.6.2 Consideration for the movement of water and its interaction with space at the earliest stage of design is crucial to the success of SuDS and allows development to maximise wider benefits. SuDS represent an opportunity to create great places and maximise the value and desirability of development whilst managing water better. The benefits of early consideration of SuDS are substantial for developers, as well as the communities that will live in the development and wider area. When designed well, SuDS can mitigate local flood risk, moderate microclimate, benefit ecology, provide new sources of water, contribute towards blue and green infrastructure, as well as create valuable amenity spaces for communities to enjoy.

6.6.3 The Flood and Water Management Act 2010 provides the legislative intention to require all new development to incorporate SuDS. The NPPF is also a key driver, stating that 'major developments should incorporate sustainable drainage systems', and should also 'provide wider benefits'.



Comprehensive redevelopment of the Temple District provides opportunity to integrate a joined up and interconnected strategy for SuDS into the development proposal.

- 6.6.4 There is an opportunity to make SuDS a key feature within Temple District, and not just a purely functional engineering feature. Usual approaches to SuDS such as through underground tanks, empty drainage basis and easements result in the sterility of large areas and unusable green space. However, through exploring the option for a joined-up strategy for SuDS, the use of open water solutions should be considered. Open water provides visual amenity, carbon storage, biodiversity contributions and water quality improvements. They are also complementary to other uses including green infrastructure elements such as tree planting. The use of blue infrastructure as SuDS would also reflect the nature of Temple District being close to the waterfront and canal.

## **Drainage Requirements**

### **Surface Water Drainage**

- 6.6.5 Surface water and roof run off for the majority of the area covered by the brief, currently discharges to the Yorkshire Water combined sewer system.
- 6.6.6 It is noted that some of the buildings at the northern end of Bath Road drain the surface water direct to Hol Beck which is located on the northern side of Water Lane. There is also a 1220mm brick culverted watercourse (known as Benyon Beck) which drains along Union Place and Leodis Close and provides a link from Hol Beck in the west, before discharging into the River Aire to the east of Victoria bridge. In addition, there are two old brick culverts which drain from the Marshalls Mill site in Bath Road and connect to the River Aire to the north west. These old culverts are understood to have fed the old Marshalls Flax Mills.
- 6.6.7 All new developments will be required to be in compliance with the Leeds CC Minimum Development Control Standards for Flood Risk <https://www.leeds.gov.uk/docs/Minimum%20development%20control%20standards%20for%20flood%20risk.pdf>
- 6.6.8 Any proposed development shall ensure that the surface water drainage design maximises the use of Sustainable Urban Drainage Systems (SUDS) and improve water quality in the receiving system, in line with the NPPF and Development Plan Policies (ENV 5, WATER 1, WATER 2 and WATER 7 and SPD –Building for Tomorrow Today Sustainable Design and Construction).
- 6.6.9 All new drainage designs and site layouts will be expected to maximise the use of SuDS techniques rather than adopt more traditional hard engineered systems. Where this is not possible, then a full justification shall be provided.
- 6.6.10 In respect to a point of discharge, all properties which can physically discharge to either Hol Beck or Benyon Beck should aim to drain to these two systems at predevelopment green field rates. Where this is not possible or where existing buildings are to be refurbished, then as a last resort and subject to Yorkshire Water's approval, they shall also discharge at pre-development green field discharge rates, or any lower rate dictated by Yorkshire Water, into the combined sewer system.

- 6.6.11 For both scenarios on site surface water attenuation will be required for either the 1 in 100+ 30% CC storm event for commercial developments or for the 1 in 100 + 40% CC storm events for residential end uses. The exception to this will be where existing buildings are to be refurbished and not extended.
- 6.6.12 In addition to the above requirements, the development surface water drainage design should seek to include the following principles where possible and reasonable:
- i) Seek to provide a co-ordinated drainage strategy with adjacent developments and explore the use of open water solutions.
  - ii) Where possible develop cross development drainage strategies that adopt a holistic approach which would allow some sites to offset the attenuation requirements and locate the storage within other urban areas or greenspaces.
  - iii) Ensure that all new developments provide a pre-defined level of water quality as defined within Section 26 of the SUDS Manual. See [https://www.susdrain.org/resources/SuDS\\_Manual.html](https://www.susdrain.org/resources/SuDS_Manual.html)
  - iv) Maximise the use of green roofs, green walls, rain gardens and permeable surfacing and re use of surface water run-off within landscaped areas or within buildings.
  - v) Maximise the use of green and blue infrastructure and landscaped areas in draining the new developments.
  - vi) Use SUDS to improve the biodiversity of the area and achieve the required 10% net gain.
  - vii) Seek to open up the visual relationship with Hol Beck.
  - viii) Ensure adequate access for maintenance is provided to the critical surface water infrastructure (i.e. the open and culverted sections of Hol Beck and other large critical surface water sewers).
  - ix) Ensure adequate inspection and maintenance regimes are put in place to manage the new surface water and SUDS based drainage systems. For any site wide drainage system it may be possible for the Council to maintain these under a separate private maintenance contract.

**Surface Water Drainage Information to be supplied to support a future planning application**

- 6.6.13 To support a future planning application, either in outline or as a full application, a Drainage Assessment shall be submitted and this shall identify the existing surface water drainage systems and set out the proposed surface water drainage system (full application) or surface water management strategy (outline application) together with supporting drawings and calculations to demonstrate compliance with the Minimum Development Control Standards and that there will be no increase in flood risk for all events up to and including the 1 in 100 + relevant CC allowance storm event. In addition, for a full application full details of how and by whom any non-adopted drainage system shall be inspected and maintained shall be provided.
- 6.6.14 The level of information submitted will be commensurate with either the outline or full planning application requirements.

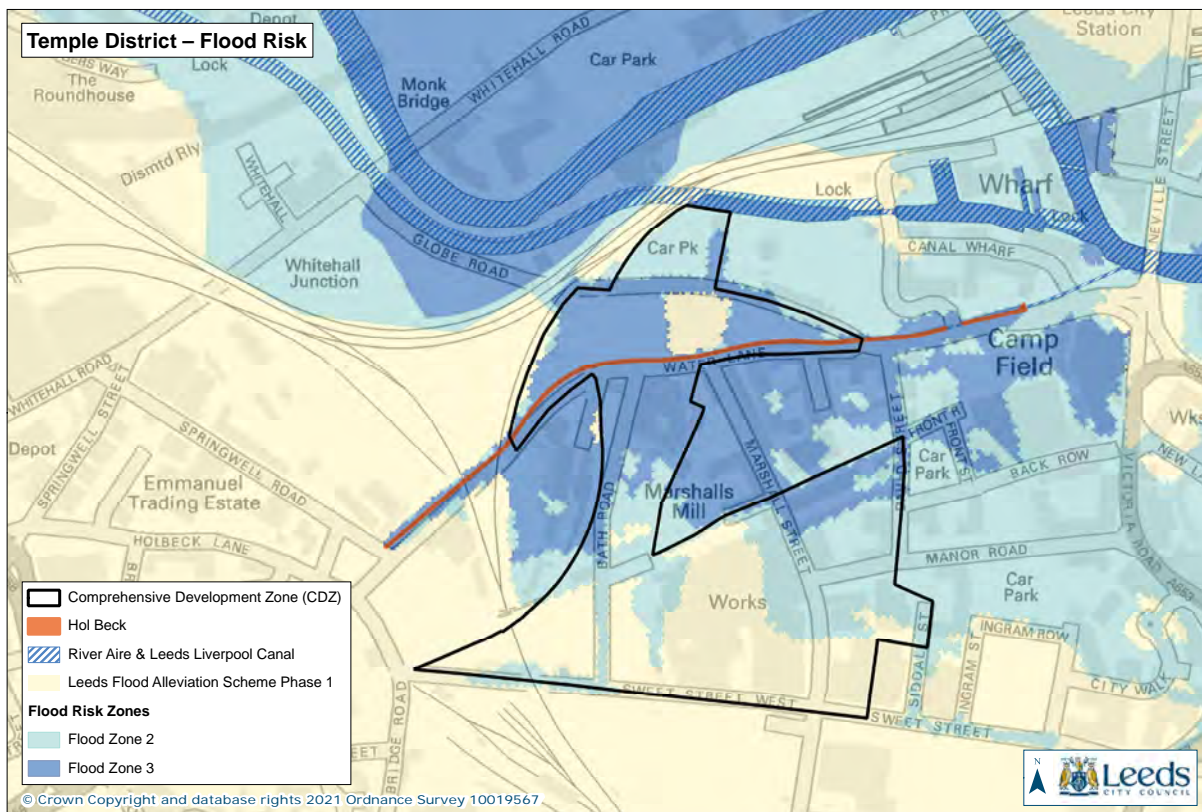
### Foul Drainage

- 6.6.16 The area is served by a series of Yorkshire Water combined sewers which generally drain to trunk sewers located within Water Lane and Globe Road, which then combine at the Globe Road/Water Lane junction and then continue draining to the east.
- 6.6.17 At present the existing buildings within the Temple District primarily drain the surface water and roof water into the combined sewers system and the overall long-term aspiration is to significantly reduce this discharge of surface water to the combined sewer system.
- 6.6.18 Yorkshire Water shall be consulted via a pre-development enquiry to confirm that available foul capacity within their network and such applications should demonstrate how the new developments will actively reduce the surface water loading into the combined sewer system.

### Foul Drainage Information to be supplied to support a future planning application

- 6.6.19 As part of any future planning application, the applicant shall provide a Drainage Assessment which sets out the existing site drainage system and the proposed foul drainage system together with agreement from Yorkshire Water to accept the proposed foul flows.

## 6.7 Flood Risk



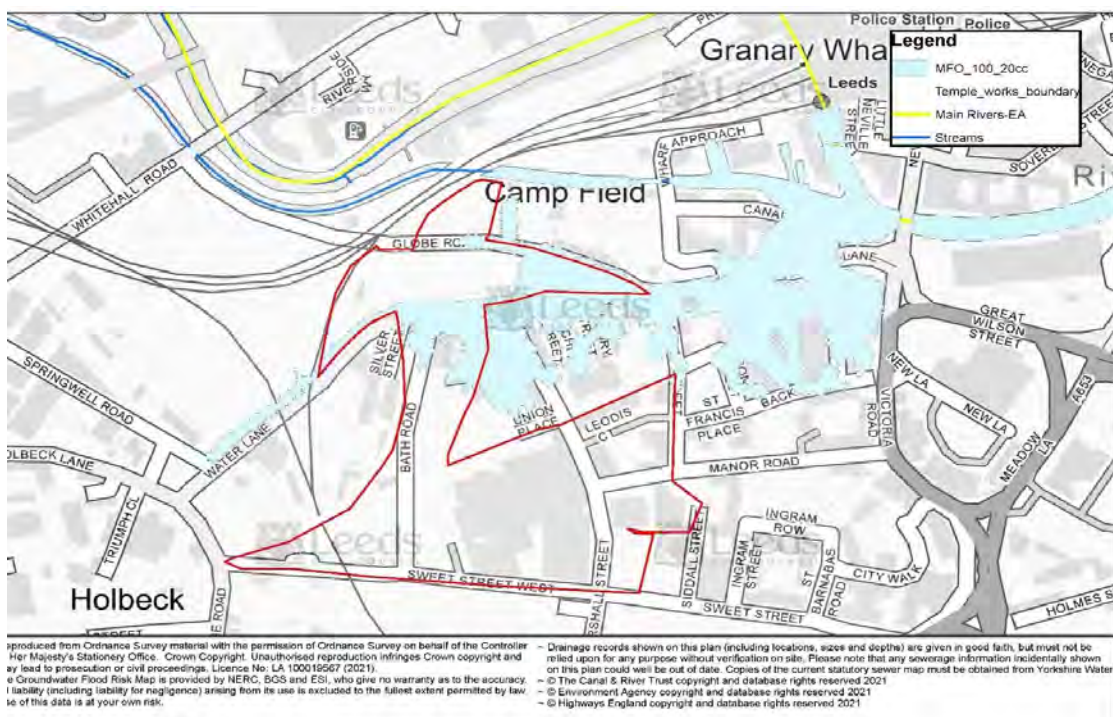
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**Existing Baseline Scenario.**

- 6.7.1 The area is currently shown on the GOV.UK Flood Map for Planning as being within Flood Zones 1, 2 and 3 as a result of fluvial flooding from both the River Aire and Hol Beck, the latter which flows through the development area along the northern side of Water Lane before discharging into the River Aire.
- 6.7.2 The Flood Zone 3 area extends to the north and south of Water Lane, to the northern part of Bath Road, Union Place, to the northern part of Marshall Street, and all of Butcher Street, Foundry Street and Leodis Close and will impact on the proposed developments within these areas.
- 6.7.3 Flood Zone 2 includes the above areas and also some small areas to the east and west of the central part of Bath Road and to the south of Leodis Close and also the section of highway on Sweet Street West and Bath Road.
- 6.7.4 The remainder of the Temple Works area is located within Flood zone 1.

**Leeds FAS 1 and 2 Schemes**

- 6.7.5 The Leeds FAS 1 scheme, which was completed in late 2017 provides flood protection to the area for the 1 in 100 plus climate change events up to 2039. Upon completion of the Leeds FAS 2 scheme, this level of protection will be increased to 1 in 200 years (0.5% AEP). It should be noted that Step 1 of the Leeds FAS 2 scheme is currently under construction with Step 2 of the FAS 2 scheme subject to a current planning application and finalisation of the detailed design.
- 6.7.6 Although the Leeds FAS 1 scheme generally provides a 1 in 100 + CC to 2039, there are some isolated areas along Hol Beck which for the 1 in 100 + 20% CC event result in fluvial flooding and these are shown within the flood map shown below:



### **Flood Risk Information to be supplied to support a future planning application**

- 6.7.7 For any new development proposed within the existing Flood Zone 2 and 3 areas or for an individual site with an area greater than 1 ha, then a NPPF compliant Flood Risk Assessment shall be provided which assess the existing flood risk and sets out the proposed flood mitigation measures commensurate with the proposed end use to ensure that the development is safe for its lifetime.
- 6.7.8 It is strongly recommended that all developers engage with the Environment Agency to obtain the latest model data and to agree the scoping of the Flood Risk Assessment and the proposed mitigation measures and any flood resilience/resistance measures and evacuation plans.

## **6.8 Sustainability Built in-to the Design**

- 6.8.1 Policy P10 of the Core Strategy requires that new development is based on thorough contextual analysis that provides good design appropriate to its scale, location and function.
- 6.8.2 Through a whole-site comprehensive development approach within Temple District there are opportunities to embed sustainability principles within the development. Proposals should demonstrate how the following considerations have been taken into account at the earliest possible opportunity, to avoid having to retrofit these considerations into the design process.
- 6.8.3 Policy EN1 of the Core Strategy expects that developments of 10 dwellings or more or over 1,000 sqm of floorspace provide a minimum of 10% of the predicted energy needs of the development from low carbon energy. An Energy Statement will be required based on expected end user requirements to demonstrate compliance. The scale and nature of proposed development at Temple District means that there are many more opportunities to develop a Climate Ready neighbourhood, the following measures should be factored into the design of the development as far as possible:
- 6.8.4 Policy EN1 also seeks 20% better than the building regulations and this roughly equates to Level 4 of the Code for Sustainable Homes , although this has now been superseded through updated Building Regulations which establish new national technical standards.
- 6.8.5 The kind of measures that can be expected to be outlined in an energy statement to ensure the development meets EN1(i) could include a mix of the following:
- use of thermal insulation (including continuous insulation),
  - air tightness of a building (which may include use of triple glazed windows),
  - mechanical ventilation with heat recovery,
  - using the orientation of buildings to optimise natural daylight,
  - solar shading or overheating considerations to reduce energy use from cooling,
  - solar control window films to help with reducing energy expenditure,

- low energy light fittings with daylight sensors,
- glazing to southern and western façades to use solar control glass with low g value and low light transmittance,
- Thermal resistance of window frames, assessed for size of aperture.

6.8.6 The kind of measures that can be expected to be outlined in an energy statement to ensure the development overall meets EN1(ii) could include:

- solar photovoltaic panels,
- ground source heat pumps,
- air source heat pumps,
- gas fired heating systems (these are classed as low carbon),
- combined heat and power systems.

where detailed design of individual buildings will include measures appropriate to its location, function and design.

6.8.7 Policy EN2: Sustainable Design and Construction also expects that Non-residential developments of 1,000 or more square metres (including conversion) where feasible are required to meet the BREEAM standard of 'excellent'. Residential developments of 10 or more dwellings (including conversion) where feasible are required to meet a water standard of 110 litres per person per day.

6.8.8 Policy EN4: District Heating: sets expectations for developments with heat density opportunities to include district heating measures. Where technically viable, appropriate for the development, and in areas with sufficient existing or potential heat density, developments of 1,000 sqm or more or 10 dwellings or more (including conversions where feasible) should propose heating systems according to the following hierarchy:

- (i) Connection to existing District heating networks,
- (ii) Construction of a site wide District heating network served by a new low carbon heat source,
- (iii) Collaboration with neighbouring development sites or existing heat loads/sources to develop a viable shared District heating network,
- (iv) In areas where District heating is currently not viable, but there is potential for future District heating networks, all development proposals will need to demonstrate how sites have been designed to allow for connection to a future District heating network.

Carbon savings and renewable energy generation achieved under this policy will contribute to EN1(i) and EN1(ii) . It is recognised that measures are being explored by the operator to achieve a crossing of the River Aire and Leeds-Liverpool canal such that use of the District Heating may be an opportunity for Temple District.

6.8.9 Leeds Building for Tomorrow Today SPD (2011) establishes guidance for development that supports sustainable design and construction in Leeds. Development within Temple District will be expected to demonstrate how the principles within Building for Tomorrow Today have been taken into account.<sup>6</sup>

- 6.8.10 Building for Tomorrow Today should be read alongside the June 2020 Update Note which clarifies referencing and how parts of the SPD apply in light of updated policy and guidance.<sup>7</sup>
- 6.8.11 The historic fabric of Temple District presents opportunities for new developments to re-use and re-purpose materials as part of new developments. There is an expectation that, where feasible and where buildings are of significance, new development will work with such existing buildings, though it is acknowledged that some demolition is expected in order to prepare sites for larger floor plates or design which are appropriate for modern requirements.

## 6.9 Connectivity and Permeability

- 6.9.1 The Connecting Leeds Transport Strategy<sup>8</sup> sets out an aspiration for Leeds to be a city where you don't need to own a car. It is expected that given Temple District's proximity to the wider City Centre and connectivity potential, that this principle will be carried through into development. This would help to deliver the Vision for Temple District to give priority to non-motorised transport options with new and enhanced connectivity within the district, to surrounding communities and to the wider City Centre.
- 6.9.2 Lack of connectivity and permeability within Temple District is considered to be a current constraint, with many links providing limited legibility, having low perceptions of safety, poor infrastructure for cycling and walking, and not contributing positively to the environment. Many links could be improved to provide better connectivity within Temple District to the City Centre, which will provide a precedent and catalyst for improvements outside the Temple District in the wider area and surrounding communities.
- 6.9.3 Connectivity within Temple District has been formed organically through the area's industrial heritage. This resulted in a number of historically important buildings, but also in several key routes connecting the area to the City Centre core as well as to the Leeds Liverpool canal and Holbeck.
- 6.9.4 As the area has seen a decline in industrial uses, many of these key routes have been repurposed, and connectivity within Temple has been severed with many routes being dominated by traffic moving across the city and using the area as a through route. These key through routes are Water Lane, Globe Road and Sweet Street, which currently do not make a positive contribution to the surroundings and a reduction in through traffic is an aspiration for Temple District.
- 6.9.5 Remaining historic routes within the CDZ are considered to be permeable, however they are undermined by low perceptions of safety, lack of legibility and poor mobility infrastructure. Development proposals will be expected to address these challenges to provide an enhanced active travel environment within Temple District in a comprehensive way.
- 6.9.6 The Connecting Leeds Transport Strategy, the proposed location of the Yorkshire Hub (HS2 Station) to the east of the area and traffic from large employment uses could lead to traffic levels changing through the area. The intention is to ensure that the impact of potential increased traffic

demand from new development is mitigated by design to ensure that the area is not adversely affected and to take steps to reduce the prominence of through traffic.

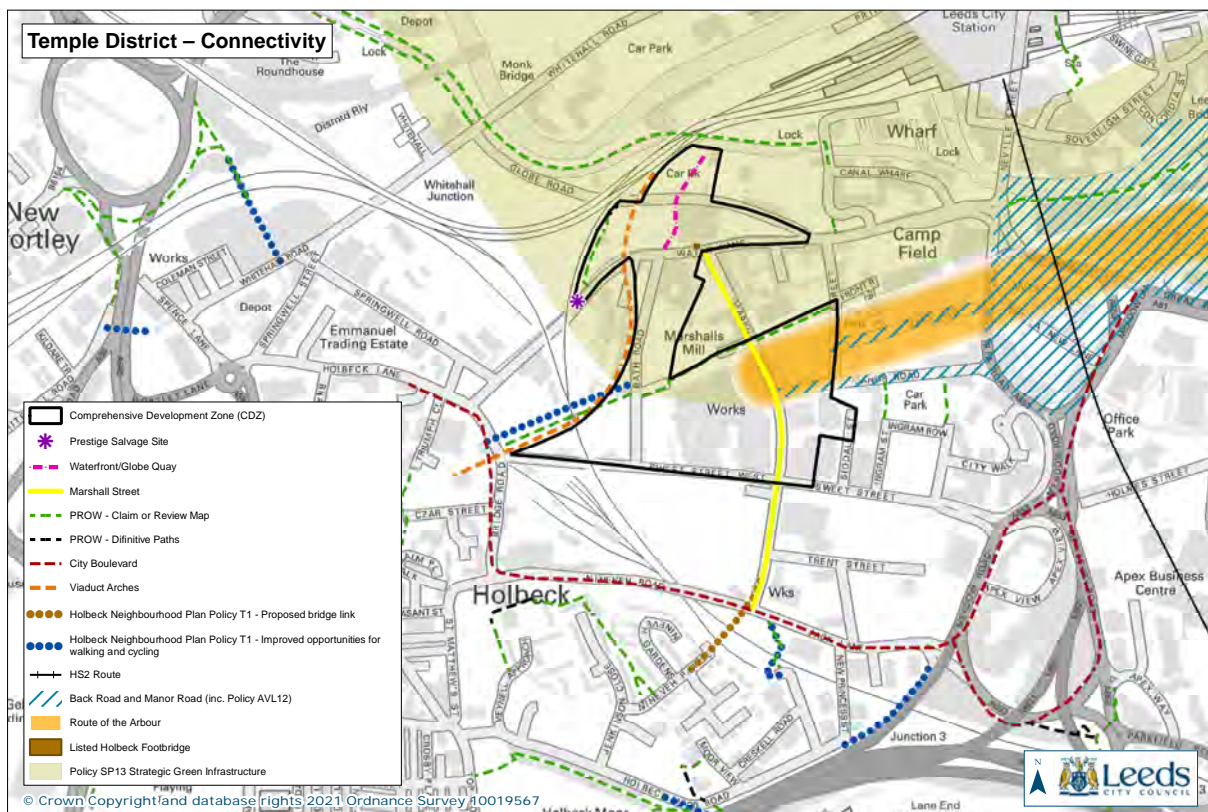
6.9.7 There is an aspiration within existing policy to ensure that the area is permeable and accessible for walking and cycling. This presents a further opportunity for the integration of mobility infrastructure within a high-quality public realm to create connections within the CDZ and to residential communities in Beeston Hill and Holbeck.

### General Principles

6.9.8 In line with Core Strategy SP4, CC2 and CC3 new developments should create a legible and accessible pedestrian and cycle network, joined up with interchanges between different modes and a pedestrian core which spans the river. The river is outside the boundary of the CDZ but within those boundaries pedestrian routes to link to future crossings of the canal and river will be promoted.

6.9.9 Development should create a rationalised and undisturbed road hierarchy that prioritises active travel modes and public transport, increases local connectivity and reduces congestion.

6.9.10 Any rationalisation of the highway network and measures introduced within the CDZ need to be assessed to understand any overspill and displacement effects on adjacent areas. Appropriate mitigation should be delivered in these adjacent areas where necessary.



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- 6.9.11 Pedestrian footways and segregated cycle infrastructure, where practicable, should improve connectivity to the wider City Centre, through Temple District from neighbouring communities along existing key routes as well as through the provision of new routes.
- 6.9.12 Routes should provide accessible mobility infrastructure that provides access and permeability for all users.
- 6.9.13 Proposals should seek to, where possible, contribute to the restoration of historic grain and routes, including finer grain traditional street patterns which reflect the historic character of the area and serve to provide links to public spaces.
- 6.9.14 Defined street frontages should be provided, with pavement widths that respond to the building scale, paying particular attention to street corners. Permeability should be enhanced, where possible, through the avoidance of long, unbroken building frontages.
- 6.9.15 Developments should seek opportunities to minimise through traffic from key routes, reducing the need for pedestrian crossings and signalling. Traffic calming will also be expected, through comprehensively re-designed public realm to reduce vehicle speeds. Traffic speeds will be reduced to support greater emphasis on people and place over the movement of private vehicles, facilitating and encouraging non-motorised modes of transport.
- 6.9.16 Where appropriate, carriageways will be repurposed or reduced in width, footpaths will increase in width to incorporate street trees and landscaping where appropriate.
- 6.9.17 Provision of cycle parking and cycle facilities within buildings and public spaces will be required.

### **Key Connections**

- 6.9.18 Globe Quay / the waterfront: Development should ensure that Temple District's proximity to the canal is maximised. This can be done by improving connectivity from Temple Works through to and around Globe Quay and its listed building and to the waterfront. This connectivity could be enhanced along Marshall Street, along to Water Lane and up through the Globe Road site and to the proposed open spaces at Beck Court and Globe Water Front.
- 6.9.19 East-West: Back Row and Manor Road: These routes (within and outside the CDZ boundary) will connect Temple Works back to the wider City Centre and South Bank, on to HS2 as well as to the Arbour route identified in the South Bank Regeneration Framework. These are identified as priority routes for transport infrastructure improvements within the Aire Valley Leeds Area Action Plan, Policy AVL12.
- 6.9.20 Marshall Street: As a key north-south link which provides onward connectivity to residential communities south of Temple District, this route should be enhanced.

- 6.9.21 A PROW route runs from Holbeck along Balm Walk, through Domestic Street, along Bath Road to the back of Temple Works via Derwent place on to Leodis Court. This route reflects the historic grain of the area, as well as the connections the site has with Holbeck. Outside the CDZ there is a focus on the creation of a Central Corridor that runs from Holbeck along Balm Walk which is designated as green space LGS8 within the Holbeck Neighbourhood Plan and through Domestic Street. Within the CDZ the public route can follow the south part of Bath Road then to link to the east to the back of Temple Works via Derwent Place, crossing Marshall Street to Leodis Court. Enhancement of this Central Corridor could provide a strengthened east-west pedestrian route that is segregated from the main vehicle routes within the District and also provide opportunities for habitat continuity.
- 6.9.22 The site currently used as Prestige Salvage should act as a Gateway point from the west into Temple District including enhanced place-making and public realm.
- 6.9.23 There are opportunities to deliver connections through the Viaduct arches at Water Lane whilst bringing an optimal use for the site and enhancing permeability into Temple District. The footpath alongside and under the Viaduct between Bridge Road and Bath Road is identified as a priority for improvement within the Holbeck Neighbourhood Plan (Policy T1).
- 6.9.24 Whilst Temple District is not serviced directly by any buses (and the viaduct height restrictions preclude double decker buses), the area is within walking distance to existing services. Developments should ensure that there are clear routes to existing bus stops whilst also creating scope for Temple as a visitor destination through enhanced cultural and leisure uses.
- 6.9.25 Developments will be expected to create two-way navigability between the heart of the District and the wider City Centre, and residential communities in Beeston Hill and Holbeck. This is particularly important for creating routes to City Station, with Temple District acting as a potential stop-off point en-route to / from the Station.
- 6.9.26 All City Centre developments should also take into consideration the potential for Mass Transit (and access to it) as part of the West Yorkshire Combined Authority's aspiration to deliver a Mass Transit network serving the whole region. WYCA and LCC are currently looking at identifying preliminary route opportunities which will be decided through consultation and funding.

### **Highways Proposals**

- 6.9.27 Sweet Street
- Subject to Sweet Street's identification as a green corridor in line with Core Strategy Spatial Policy 13 and Policy G1 within the Holbeck Neighbourhood Plan (outside of the CDZ boundary), it has potential as a key east-west link for a segregated cycling route linking to the city cycling network. Interim proposals are planned to provide a temporary cycling route which can be upgraded as frontage developments occur.
  - Identified as an early preliminary option currently under assessment for mass transit within the green corridor and cycling route, there is a desire to safeguard provision for future mass

transit and frontages to the north should consider setback to facilitate this opportunity, preserving a total width of 20m (where possible).

#### 6.9.28 Marshall Street

- Pedestrianisation of the central section to create the appropriate setting for Temple Works and connect to public open space
- Design should consider whether servicing and vehicle turning points are required on the northern section
- Southern section to facilitate access and link between Manor Road, Sweet Street and Jack Lane / Nineveh Road

#### 6.9.29 Bath Road

- Flexible approach to road design within the existing highway space and operation to ensure existing and proposed uses have access and servicing. Much of Bath Road parking (both long term pay and display and that which is unauthorised) is incompatible with the Temple District aspirations and is to be rationalised as part of the comprehensive approach.

#### 6.9.30 Water Lane & Globe Road

- The public realm, providing new public spaces and a series of pedestrian routes through the site will be supplemented by four potential new footbridges over the Hol Beck, 4 new pedestrian crossings and the narrowing of carriageways on both Globe Road and Water Lane, the flow of Water Lane becoming solely one-way from Globe Road to Bath Road.

#### 6.9.31 Parking

- A future Masterplan for Temple District will be expected to set out a parking strategy for the whole of the District which aligns to the anticipated phasing of development. This should take into account the aspiration within the Connecting Leeds Transport Strategy and maximise the highly sustainable location of Temple District within the City Centre and wider South Bank to minimise the use of cars as far as possible, whilst fulfilling the needs of development and minimising potential “spillover” into surrounding areas.
- Car clubs and the use of nearby Park and Ride facilities will be supported. The overall parking strategy will include solutions for individual sites which support anticipated uses and ensure user-safety as well as the delivery of a long term solution through a potential Multi-Storey Car Park or other sites, if considered necessary, acknowledging that concentrating parking in one place would allow the rest of Temple District to be better for pedestrians and cyclists.

## 6.10 Connectivity to Local Communities

- 6.10.1 As well as contributing to delivery of physical connectivity to surrounding communities and to the City Centre, development within Temple District will be expected to deliver wider social connectivity to the District as it is developed. This will be delivered in a number of ways through both the construction stage of the development and post-occupancy.
- 6.10.2 Developments and their occupiers will be expected to link up to the aspiration for skills and job creation within South Leeds through providing apprenticeship and local employment initiatives in partnership with the Employment and Skills team and as part of the Economic Recovery Framework post Covid-19.
- 6.10.3 The development of Temple District will lead to the creation of a new neighbourhood, it is imperative that this new neighbourhood is connected to existing residential communities by ensuring that the area is permeable and welcoming and by minimising any sense of exclusivity or being an “enclave”.
- 6.10.4 In addition, through building community engagement into the preparation of this Planning Brief and through the planning application process, developers in Temple District will be expected to use these processes as an opportunity to build trust and relationships with surrounding residential communities and to take their views into account as proposals are prepared. This will include constructive engagement with Ward Councillors and with relevant community groups, including any neighbourhood forums in the area.
- 6.10.5 Encouragement will be given to initiatives that seek to build connections between cultural institutions within Temple District and local residential communities.

## 6.11 Uses including Indicative Development Capacity

- 6.11.1 Temple District is for the most part covered by a number of Site Allocations Plan (SAP) site allocations and identified sites, with a small part of the District not allocated for a specific use.
- 6.11.2 The SAP expects a mix of uses to be delivered within Temple District (as indicated by the MX-designation for the sites in the area). An indicative site capacity exercise has been undertaken which looks at the allocations and identified sites in the area.
- 6.11.3 The MX2-35 allocation covers part of Temple District as well as a site to the south of Sweet Street West (known as Sweet Street South). Using the SAP allocation site area and indicative capacity, the exercise uses a density calculation of 121dph which is consistent with the overall allocation. For the purposes of this capacity exercise, the Sweet Street South site area has been subtracted from the MX2-35 allocation area, as well as the Pinyard Site with planning permission at Sweet Street that falls outside of the CDZ (17/06963/OT and 18/07746), with 7.77ha of the allocation falling within Temple District. For the avoidance of doubt, indicative development capacities in the SAP are not equivalent to a presumption of maximum density or residential dwelling numbers.

- 6.11.4 The residential and general employment components of the allocations have therefore been proportionally attributed to the Temple District and to Sweet Street South site, although the allocation is silent on distribution and does not represent a maximum on either site, but does expect an appropriate mix of uses within the allocation overall.
- 6.11.5 The following table sets out indicative capacities for different uses within the Temple District. These capacities are derived from the SAP and reflect the indicative mix of uses and forward planning capacity only:

	Site Area (ha)	Residential (units)	Employment (ha)	Office (sqm)
MX2-35 as it falls within Temple District (excluding Sweet St South and Pinyard Site)	7.77	683	2.11	
MX2-36	0.18	30		3000
HG2-208	0.11	4		
MX1-17	0.49	90		4000
MX1-13	1.79	263		18720
<b>Total</b>	<b>10.34</b>	<b>1070</b>	<b>2.11</b>	<b>25720</b>

The capacities are indicative assumptions, not targets, maxima or minima.

### Employment

- 6.11.6 The southern portion of Temple District, as well as the Sweet Street South site is allocated under Policy MX2-35 of the Site Allocations Plan for mixed use development, with an indicative capacity of 1,000 residential units and 3.1ha of general employment. Since the adoption of the Site Allocations Plan in July 2019, aspirations for the Temple District have evolved significantly, and the original intended and bespoke use of the site for potential manufacturing has fallen away and is now considered undeliverable. Nevertheless, the Council remains committed to the expectation for mixed-use development at this location as required by the SAP, which is expected to include significant employment uses of a type appropriate to the Vision.
- 6.11.7 This Planning Brief cannot alter the SAP Policy, but can reflect on the changed circumstances and as a material consideration to any planning application, the Vision for Temple District and the Council's aspirations for this part of the South Bank can be taken in to consideration. The aspiration for Temple District to be a welcoming, desirable and pedestrian friendly environment with low through traffic volumes, as well as the wider regeneration priorities for Temple District and existing supplementary planning guidance, indicates that the site would be well-suited to particular employment uses that, while they may not exactly fit with the general employment requirement, do still deliver economic benefits in this area and would bring employment opportunities for surrounding communities.

- 6.11.8 Temple District has potential for some general employment uses, including research and development and light industrial uses, which could lend themselves better to this location. These uses could be in the digital, research and development and creative industries that are compatible with the scale of anticipated residential and office development, would align to the Vision for Temple District, and would be compatible with aspirations set out in the Holbeck South Bank SPD and South Bank Leeds Regeneration Framework SPD. However, the Council does not want to risk sterilising the land or compromising deliverability of the scheme by requiring that 3.1ha of land is set aside for general employment whilst restricting other compatible uses in this area.
- 6.11.9 In particular, there are opportunities for start-up spaces and potential shared workspaces for these types of industries which would again still deliver economic benefits, generate employment creation, and contribute to the Inclusive Growth agenda and Economic Recovery of Leeds Post-Covid-19, whilst being complementary to the overall place-making of the area with links to potential cultural and leisure uses at Temple Works.

### Housing

- 6.11.10 Core Strategy Policy H3 expects a minimum density of 65 dwellings per hectare for sites in the City Centre and fringe areas. Development at Temple has the potential to significantly exceed the minimum density requirements although there is an acknowledged need to balance this against the historic character of the area.
- 6.11.11 Residential development in Temple District will be expected to meet a range of housing needs over the long term as established by Core Strategy Policy H4 and its supporting text, which will take account of the nature of the development and the character of the location. The location of Temple District and mix of uses provide the opportunity to create a mixed community which includes a range of tenures and creates an inclusive environment.
- 6.11.12 Development proposals of over 250 units within the Main Urban Area will be expected to provide a Housing Needs Assessment addressing all tenures so that the needs of the locality can be taken into account at the time of development.
- 6.11.13 The preferred housing mix as set out in the supporting text to Policy H4 of the Core Strategy is as follows:

Size	Max %	Min %	Target %
1 bed	50	0	10
2 bed	80	30	50
3 bed	70	20	30
4+ bed	50	0	10

6.11.14 The 2017 Strategic Housing Market Assessment shows that Leeds is expected to continue to experience the most significant increases in one person households and then couple households. In November 2019, Development Plan Panel considered updated evidence from the 2017 SHMA and the implications for housing mix, which effectively provides an update (albeit not one included in the adopted plan) of the Housing Mix targets:

Bedrooms	Demographic Baseline (%)	Aspiration (%)	Expectation (%)	Target (%)
1	11	11.6	18	14
2	34	42.5	43.4	40
3	32	27.7	20.7	27
4+	22	18.2	17.9	19
Total	100	100	100	100

6.11.15 The MX2-35 allocation has also been identified as a site which would be suitable for the provision of Independent Living accommodation in accordance with Policy H8 of the Core Strategy. Developments of 50 or more dwellings will be expected to make a contribution to supporting needs for Independent Living and very large-scale development will have potential to provide sheltered housing schemes as part of a wider housing mix.

6.11.16 Policy H5 of the Core Strategy expects that major developments will include on-site affordable housing provision at 7% of the overall housing numbers. The mix of affordable housing should be designed to meet the identified needs of households as follows:

- 40% affordable housing for intermediate or equivalent affordable tenures
- 60% affordable housing for social rented or equivalent affordable tenures

6.11.17 The affordable units should be a pro-rata mix in terms of sizes and house types of the total housing provision, unless there are specific needs which indicate otherwise, and they should be suitably integrated throughout a development site.

6.11.18 Affordable housing provision should be on site unless off-site provision or a financial contribution can be robustly justified.

6.11.19 Build to Rent developments (as an alternative to the Open Market Sale requirements above) shall provide either:

- i. on-site, according to national policy advice, currently 20% Affordable Private Rent dwellings at 80% of local market rents administered by a management company with appropriate arrangements for identifying households in need, including city council nomination rights, which apply in perpetuity, or
- ii. on-site, the percentage of affordable housing specified for zones 1-4 and mix of Intermediate and Social Rented types of affordable housing set out in the first paragraphs of this Policy at affordable housing benchmark rents administered by either a registered provider or a

- management company with appropriate arrangements for identifying households in need, including City Council nomination rights, which apply in perpetuity, or
- iii. a commuted sum in lieu of on-site provision of affordable housing of option ii).

6.11.20 In May 2021, Planning Practice Guidance was updated to include a First Homes requirement (First Homes are a specific kind of discounted market sale housing and should be considered to meet the definition of 'affordable housing' for planning purposes.) The new First Homes policy requirement does not apply for the following:

- Sites with full or outline planning permissions already in place or determined (or where a right to appeal against non-determination has arisen) before 28 December 2021
- Applications for full or outline planning permission where there has been significant pre-application engagement which are determined before 28 March 2022; and
- Sites where local and neighbourhood plans are adopted/made under the transitional arrangements detailed in Planning Practice Guidance. These transitional arrangements will also apply to permissions and applications for entry-level exception sites.

6.11.21 Residential dwellings will be expected to meet the Nationally Described Space Standards as required by policy H9 of the Core Strategy.

6.11.22 Accessible Housing provision will be required in accordance with policy H10 of the Core Strategy, with 30% of dwellings expected to meet the M4(2) Accessible and Adaptable standard, and 2% of dwellings to meet the M4(3) Wheelchair User dwelling standard.

### **Supporting Cultural, Educational and Leisure Opportunities**

6.11.23 Consistent with the aspirations within the Holbeck, South Bank SPD and South Bank Leeds Regeneration Framework SPD, the introduction of cultural, educational and leisure opportunities within Temple District will be supported. The stabilisation and repair of Temple Works provides an opportunity to deliver a new, nationally significant, cultural and educational destination at the heart of the District.

### **Facilities and Services**

6.11.24 Comprehensive development within Temple District will provide opportunities to consider the facilities, services, and other social infrastructure, required as part of the creation of a sustainable new neighbourhood.

6.11.25 Development proposals should give consideration to the needs arising as a result of new large-scale residential development, such as schools, health infrastructure, and ability to meet day-to-day shopping needs.



## 6.12 Land Contamination and Ground Conditions

- 6.12.1 For land contamination, the NPPF is consistent with the basic principles and concepts advocated by Part 2A of the Environmental Protection Act 1990 (Part 2A). Although the NPPF places a duty on local planning authorities to take account of land contamination when preparing planning policies and making planning decisions, it is the applicant's responsibility to provide information on whether the site is contaminated and to submit remediation proposals and verification information, where necessary.
- 6.12.2 It is indicated in the NPPF that site investigation and risk assessment for contamination, prepared by a competent person, should be of an adequate standard to inform planning decisions. The scope should reflect the previous uses, size and complexity of the site, as well as the likely contamination risks.
- 6.12.3 The Council also has a duty under the NPPF to make sure that, where unacceptable risks have been identified, a viable remediation scheme that will reduce risks to an acceptable level is implemented so that the site will be 'suitable for use'. A verification report will also be required to provide evidence that the approved remedial works have been carried out on site. Comparison with generic clean-up criteria alone as a basis for justifying remediation is not favoured. Instead, the Council prefers site-specific risk assessment to be the basis for determining appropriate remediation standards. It is the applicant's responsibility to ensure that development is safe and suitable for the intended use.
- 6.12.4 The Council wishes to ensure that remediation reduces all land contamination risks to acceptable levels. More sustainable alternatives to the traditional civil engineering remediation solutions of 'dig and dump' and 'capping' are welcomed and encouraged.
- 6.12.5 An applicant should be aware that actions or omission on their part could lead to liability being incurred under Part 2A. As a minimum, after carrying out the development and commencement of its use, the land should not be capable of being determined as Contaminated Land under Part 2A.
- 6.12.6 Based on a review of the Council's information, former potentially contaminative uses are known to have taken place within most of the Temple District. For development within the District, it will be necessary for satisfactory assessments to be undertaken in relation to the proposed end use. This must include the submission to the Council of a satisfactory Phase I Desk Study report for review and approval. Given the number of different land parcels and complexity of land uses within Temple District, the LPA may have information which may assist completion or a review of historical data within the Phase 1 Desk Study, if appropriate. Depending on the outcome of the Phase 1 Desk Study, a Phase 2 (Site Investigation) Report and Remediation Statement / Strategy may also be required to be submitted for review and approval. The approved Remediation Statement / Strategy should then be implemented. Where remediation measures are necessary, a Verification Report providing evidence that the remediation measures were satisfactorily implemented at the site(s) should be submitted to and approved by the Council.

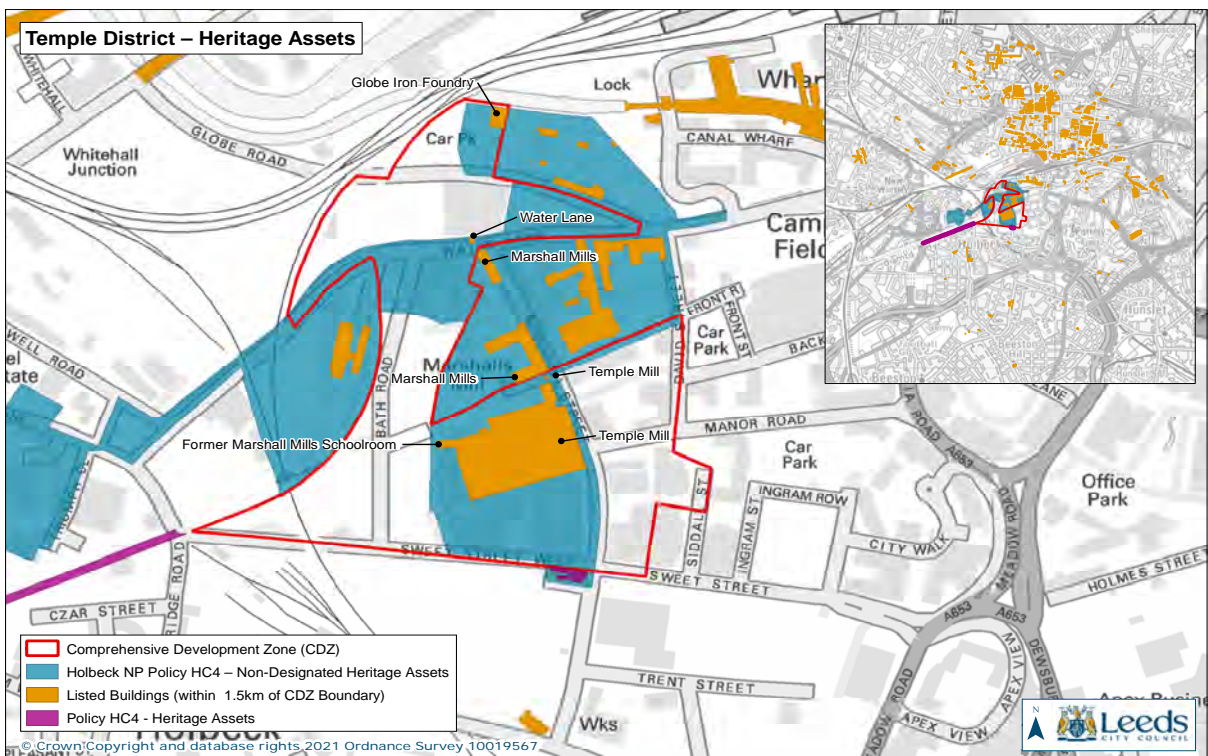
- 6.12.7 The Contaminated Land team's blue leaflet (The Development of Contaminated Sites) and the Yorkshire and Lincolnshire Pollution Advisory Group (YALPAG) documents can provide guidance on report requirements (refer to: <https://www.leeds.gov.uk/planning/planning-permission/land-contamination>). Publicly available third-party reports received since 2009 are free to download via the Public Access Planning Portal.
- 6.12.8 Should the intended end use be considered vulnerable e.g. for residential purposes, a minimum of a Phase I Desk Study report should be provided in support of a planning application.

### 6.13 Heritage

- 6.13.1 Development within Temple District will be required to demonstrate how the existing historic character will be woven into new development through the use of materials, creation of a sense of place, retention of key routes, preservation of views, and the opening up of Temple Works.
- 6.13.2 Existing SPDs and the Holbeck Conservation Area Appraisal establish baseline principles for development within the historic context of Temple Works and the wider setting.
- 6.13.3 Policy P11 of the Core Strategy establishes that the historic environment, consisting of archaeological remains, historic buildings townscapes and landscapes, including locally significant undesignated heritage assets and their settings, will be conserved and enhanced, particularly those elements which help to give Leeds its identity.
- 6.13.4 Development proposals will be expected to demonstrate a full understanding of historic assets affected, including any known or potential archaeological remains.
- 6.13.5 P11 lends support to conservation-led regeneration schemes, in particular within Regeneration Priority Programme Areas (under Core Strategy Spatial Policy 4, which includes South Leeds). Enabling development may also be supported in the vicinity of historic assets where linked to the refurbishment or repair of heritage assets.
- 6.13.6 There is a need for development to be sensitive to the historic environment and to demonstrate no net harm to heritage assets and their settings. The NPPF identifies that any harm to, or loss of, the significance of a designated heritage should require clear and convincing justification. Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply a) the nature of the heritage asset prevents all reasonable uses of the site; and b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.

- 6.13.7 Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 6.13.8 There are a number of Listed Buildings and non-designated heritage assets within Temple District and within the wider area surrounding the District. Re-development of this area provides an opportunity to bring new life and purpose, where appropriate, to historic assets within an enhanced setting.
- 6.13.9 Saved UDP Policies N14 – N16 provide detailed guidance on development proposals for Listed Buildings. These policies establish a standard for development affecting Listed Buildings, with a presumption in favour of retaining the Listed Building. Changes of use will be supported providing that the new and adapted use does not diminish the special architectural or historic value of the building and its setting.
- 6.13.10 Extensions to Listed Buildings will only be accepted where they relate sensitively to the original buildings. In all aspects of their design, location, massing and materials, they should be subservient to the original building. Existing detailing and features, including internal features, which contribute to the character of the Listed Building should be preserved, repaired or if missing replaced, wherever possible.
- 6.13.11 Saved UDP Policies N18A to N20 provide policy guidance for development within and affecting Conservation Areas. There is a presumption against the demolition of a building or parts of a building that makes a positive contribution to the character and appearance of a Conservation Area. Consent for demolition in a Conservation Area will not be given unless detailed plans for the redevelopment of the site have been approved, and will be subject to conditions. The NPPF clarifies (at Para 207) that not all elements of a Conservation Area necessarily contribute to its significance.
- 6.13.12 Saved Policy N19 of the UDP provides guidance on new buildings within or adjacent to Conservation Areas in order to preserve or enhance the character or appearance of the area, by ensuring that:
- i) The siting and scale of the building is in harmony with the adjoining buildings and the area as a whole;
  - ii) Detailed design of the buildings, including the roofscape is such that the proportions of the parts relate to each other and to adjoining buildings;
  - iii) The materials used are appropriate to the area and sympathetic to adjoining buildings. Where a local materials policy exists, this should be complied with;
  - iv) Careful attention is given to the design and quality of boundary and landscape treatment.
- 6.13.13 Demolition or removal of other features which contribute to the character of the Conservation Area and which are subject to planning control, such as trees, boundary walls or railings, will be resisted, in accordance with Saved UDP Policy N20.

- 6.13.14 In accordance with the NPPF and development plan policies, development proposals within Temple District will need to provide a detailed assessment of the potential impacts on the historic environment (including the significance of the historic asset) and provide design solutions which are appropriate to the historic significance of the area, taking into account the Conservation Area and Listed Buildings and their settings and, non-designated heritage assets.
- 6.13.15 By using a comprehensive approach to development within Temple District, taking account of the guidance within this Planning Brief, there is an opportunity to take a strategic approach to heritage management in the District, helping to ensure that regeneration and redevelopment activity is sensitive to the historic environment whilst also delivering a vibrant, mixed use neighbourhood at the heart of the South Bank.
- 6.13.16 The overriding objective for the proposed regeneration of Temple District is to support the repair of Temple Works and to secure a long-term sustainable use for the building. Given the complex structural issues and highly graded status of Temple Works, there is a significant conservation deficit associated with bringing the building back into use. Conventional and piecemeal development at Temple District risks missing opportunities to achieve the aim of securing a future for the building. Comprehensive development of a suitable scale within the District will enable cross-subsidy benefits to meet this objective, with additional grant funding support as needed. In addition, this approach will support the delivery of sensitive regeneration using the Climate Ready and Nature Friendly approach to placemaking and the delivery of wider public benefits within the District such as open spaces connected by public realm or green corridors and improved pedestrian and cycle connectivity.



## 6.14 Scale and Massing

6.14.1 Alongside design, scale and massing within Temple District is a key consideration in order to provide an appropriate setting for the historic environment within Temple District as well as delivering a sufficient scale of development to capture potential cross-subsidy benefits for the repair and re-use of Temple Works and to provide a deliverable scheme.

### Tall Buildings

6.14.2 Historic England's Advice Note 4 provides guidance on tall buildings and their relationship to the historic environment, including guidance on making a planning application. Development proposals are encouraged to consult this guidance and the checklist for preparing applications contained therein.<sup>9</sup>

6.14.3 The draft Tall Buildings SPD identifies parts of the District adjacent to the Viaduct and to the north of Water Lane as a preferred area for tall buildings<sup>10</sup>. In addition, extant and recent planning permissions within and surrounding Temple District have established the principle of tall buildings within the area. However, these tall buildings must be sensitively balanced against the need to provide an appropriate context for Temple Works and its setting and the setting of the Holbeck Conservation Area.

6.14.4 There is an opportunity to use new Tall Buildings as a signpost or marker for the Temple District, enabling way-finding and navigation. Temple Works has historically been surrounded by buildings that are taller and has a sense of being 'hunkered down' and hidden from view, with a sense of enclosure being provided by surrounding buildings. In this sense, this is part of the building's character, and new development has an opportunity to add to this whilst providing an enhanced setting and opening up views of the frontage by providing new public spaces and routes.

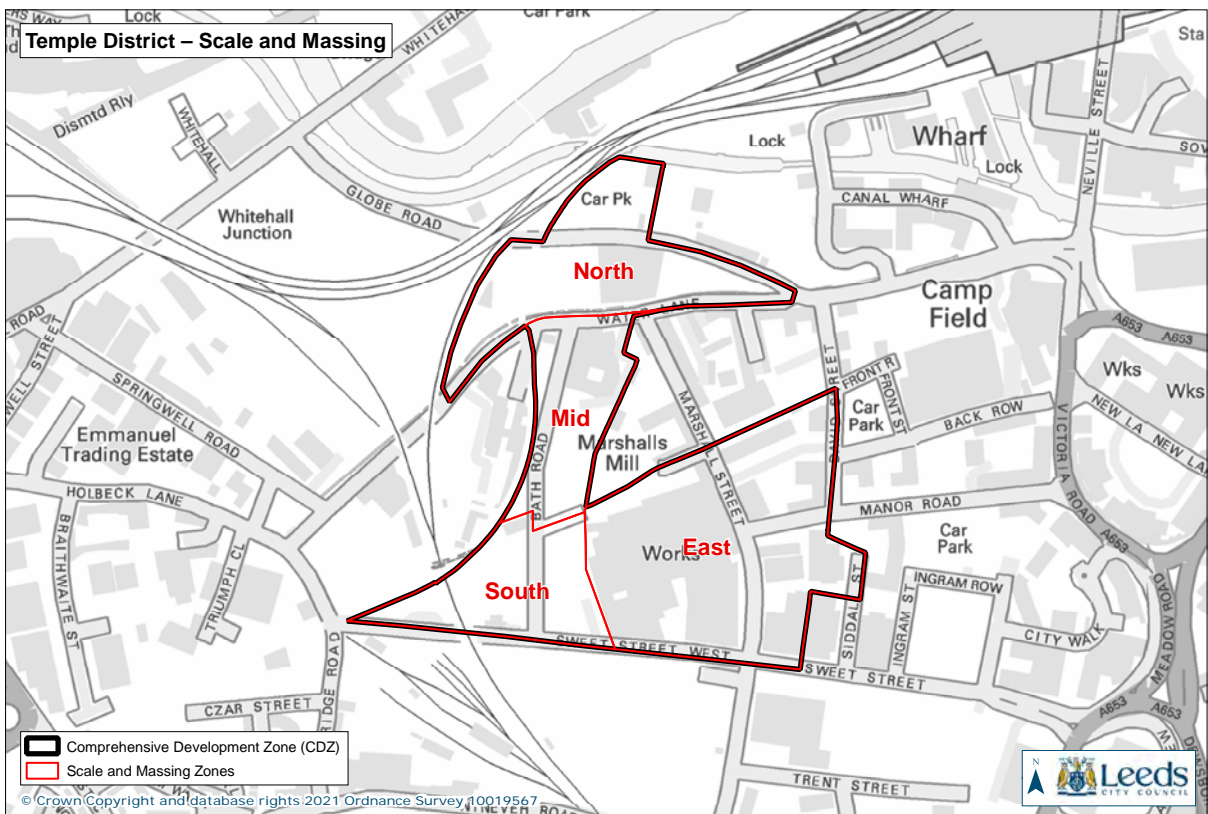
6.14.5 Development should take into account the design guidance provided in the adopted Tall Buildings SPD (2010) as well as that provided by the emerging draft Tall Buildings SPD and recent planning history of the area.

6.14.6 Developments should be at a scale, height, massing and alignment complementary to the part of the area they are in and in particular should preserve or enhance the character and appearance of the Conservation Area or of listed buildings and their settings.

6.14.7 New development will need to take into account the Conservation Area and impact on the setting of listed buildings. Any proposals for large-scale buildings will need to be fully justified to demonstrate that their overall impacts are acceptable. It must also be noted that any suggestions of heights will be subject to assessment and views when applications are submitted. It is acknowledged that the comprehensive approach to development to be taken in Temple District will allow for larger/taller buildings on some plots than would otherwise be acceptable through a piecemeal approach as a balance can be achieved between tall buildings and public space delivery to mitigate against scale. This is likely to be the case for the Prestige Salvage and adjacent Temple Arches gateway site if developed together as a single plot.

6.14.8 In order to clearly set out indicative recommendations for scale and massing, Temple District is here divided into zones which expand on existing guidance:

1. North: which will include sites to the north of Water Lane
2. Mid: which will include sites along Bath Road
3. South: which will include sites to the north of Sweet Street West
4. East: which will include sites adjacent to Marshal Street and Leodis Court.



### North

6.14.9 The North Zone of the CDZ is bounded by Water Lane and Globe Road. It is part of the site that is located closest to the wider City Centre. Planning permission (17/06455/FU) has been granted for the site and will see the land at Globe Road and Water Lane delivering a mixed-use scheme with building heights extending to 40 storeys being brought forward, with five development parcels being identified: Globe Point, Globe Square, Temple Arches, Globe Waterside and Beck Court. The scale and massing of this site sees a natural step up in scale from east to west along Globe Road and Water Lane frontages.

6.14.10 The buildings in Globe Point to the north-east of the junction of Water Lane and Marshall Street range in height from 7 storeys at the eastern end, up to 8 storeys. This character area is a key part of the Holbeck Conservation Area where the major east-west routes of Water Lane and Globe Road converge at a sharp point.

- 6.14.11 More dramatic changes are proposed on the north side of Water Lane to the west of Marshall Street. The tallest building is proposed at the northern extent of the site, close to the junction of the railway viaduct and the Leeds-Liverpool canal which itself is close to the River Aire. Clearly, a building of such a height (up to 142m) will be visible from many locations within the city, including within the nearby Conservation Areas, and would also affect the setting of nearby listed buildings such as Globe Quay (16 Globe Road) beyond the proposed associated public space to its east. However, its proximity to City Station helps to justify its location and its position adjacent to major infrastructure, within a new area of public realm helps to mitigate its impact at street level and within local views. The prominence of the building is such that it would demand to be of the highest architectural quality. This planning permission represents the maximum that would be acceptable in this part of the CDZ and has been subject to Environmental Impact Assessment.
- 6.14.12 Tall buildings may be appropriate at the Prestige Salvage site, of at least 15 storeys (as established through outline planning permission 08/04633/OT that falls within the Temple District Planning Brief boundary) but if combined with the site known as Temple Arches the height may be increased, provided that development ensures a positive relationship with the Viaduct which contains well-designed public realm and is appropriate to the setting of the Holbeck Conservation Area.

### **Mid**

- 6.14.13 This portion of Temple District will be impacted by the potential re-development of Midland Mills and the associated construction of the new 32 storey Midland Tower, all set within a landscaped area and public realm to the west of Bath Road (outside of the CDZ). The original listed Midland Mills building comprises of a number of 1800 brick buildings of 2-3 storeys in height. The proposed 32 storey tower would be a contemporary tall building that would be linked to a regenerated and converted Midland Mills. The positioning of the tower means that it would be to the edge of the lower built form of the Holbeck South Bank as a place of transition between the historic street forms and buildings and more contemporary areas. The wider area has a number of existing and consented tall buildings and towers and the proposed tower would be largely viewed against this backdrop in longer views across the area.
- 6.14.14 Tall buildings may be appropriate at the northern extent of this zone at Water Lane, provided that the proposals are of a high quality design and complement the development of the Globe Road / Water Lane site.
- 6.14.15 Part of this zone falls within the Globe Road / Water Lane outline consented scheme (referenced as Beck Court), with indicative heights of 31m. As this has been recognised as a gateway site into the Conservation Area, there is an opportunity for this to step up to 6 storeys towards the middle of this Zone, although development proposals should ensure a positive relationship to the Viaduct and the print works at Beck Court, which is an identified non-designated heritage asset.
- 6.14.16 To ensure that that the lower rise listed buildings of Midland Mills or the Viaduct are not at risk of being significantly over-dominated, development proposals should aim to provide more mid-rise buildings in this area if the Midland Mills planning permission is implemented. Retaining mid

heights which would allow the potential Midland Tower to act as a focal point building, drawing attention and signposting to the listed Midland Mills.

### **East**

- 6.14.17 The East Zone comprises of Temple Works and adjoining land to the south (including Drapers Yard), Leodis Court opposite to the eastern elevation of Temple Works and land between Sweet Street West and Manor Road. The scale and massing of these buildings will be a critical consideration due to their proximity and relationship to Temple Works.
- 6.14.18 Development within the immediate vicinity Temple Works should step down on approach to the building although it is noted that Temple Works has historically been surrounded by built development, some at greater heights which allowed views of its roof.
- 6.14.19 Beyond Marshall Street and onto Sweet Street, heights may step-up to align with the recent reserved matters application approved for a residential block of up to 12 storeys at Sweet Street (application reference 18/07746/RM). This site is outside of the CDZ and within the Eastern Gateway (Holbeck, South Bank SPD), but includes proposals for a layout that would allow a 12m gap to the site to the north with a 2.5m wide pedestrian and cycle route, which in the future would link to the west to Temple Works and Marshall Street, subject to the redevelopment of the adjoining sites. This part of the site is within a context of buildings around 8 – 12 storeys in height, including The Mint and Manor Mills, therefore a step-up is justified and the design and function will determine the acceptability of the height once an application for planning permission is submitted.
- 6.14.20 To ensure sensitivity along Marshall Street, mid-rise buildings of around 5 - 6 storeys will be supported along this corridor, although taller buildings may be justified at the eastern and south eastern-extents of Temple District. There is an opportunity to reinforce the character of Temple Works being ‘hidden’ along Marshall Street by providing a sense of enclosure to the building.
- 6.14.21 To the east of Marshall Street and along to Leodis Court, a public square opposite the frontage of Temple Works will provide an opening to the listed building, allowing it to be seen from other aspects of the CDZ and beyond. Around this area, heights of 5-6 storeys are also acceptable, with a possible step up towards David Street and away from Temple Works. A balance should be achieved between the heights of buildings and the provision of open space at this location to ensure that the public realm is not over-dominated.

### **South**

- 6.14.22 The southern zone of the District comprises of cleared and vacant land. There are opportunities here for tall buildings, consistent with the preferred location as identified in the draft Tall Buildings SPD. This would help to provide identity and “skyline” markers to the District for those travelling into the city as wayfinding points, as explained in the ‘East’ description, above, a step down towards Temple Works must be delivered across the two zones, and any tall buildings should be off-set with provision of public space to ensure balance and avoid over-dominance.



6.14.23 Tall buildings in the south western extent of the Temple District will also provide opportunities for continuity from the Sweet Street South site as a corridor approaching the wider City Centre to the north, providing that the principles within the Tall Buildings SPD and draft Tall Buildings SPD have been taken into account.

### **Wind and Micro-Climate**

6.14.24 In addition, development will need to take account of the Wind and Micro-Climate Toolkit for Leeds to mitigate the impact of proposed potential impact of tall buildings and ensure safety. Wind microclimate matters should be considered at an early stage in the design to ensure good pedestrian comfort conditions around proposed development sites.<sup>11</sup>

6.14.25 The identification of Temple District for potential tall buildings which may be acceptable in townscape impact terms does not negate the need to thoroughly understand any potential wind microclimate risks. Wind assessments for specific schemes may identify mitigation measures and where mitigation is demonstrated to be insufficient or not feasible, tall buildings may be inappropriate and may not be supported.

### **Planning Gateway One**

6.14.26 Government has introduced a Building Safety Bill to establish a new building safety regime in England in response to the Grenfell Tower Fire, which will introduce a set of new requirements into the planning system, known as Planning Gateway One. The purpose of the new requirements is to ensure fire safety matters as they relate to planning are incorporated at the planning stage for schemes involving relevant high-rise residential buildings.

6.14.27 The statutory provisions will involve the Health and Safety Executive becoming a statutory consultee before permission is granted for development which involves high rise residential building in certain circumstances; require relevant applications for planning permission to include a fire statement to ensure applicants have considered fire safety issues as they relate to land use planning matters; and help to inform effective decision-making by local planning authorities, so that those decisions and the actions that flow from them properly reflect and respond to the needs of the local community. Further guidance is provided: <https://www.gov.uk/guidance/building-safety-planning-gateway-one>

## **6.15 Design and Local Character**

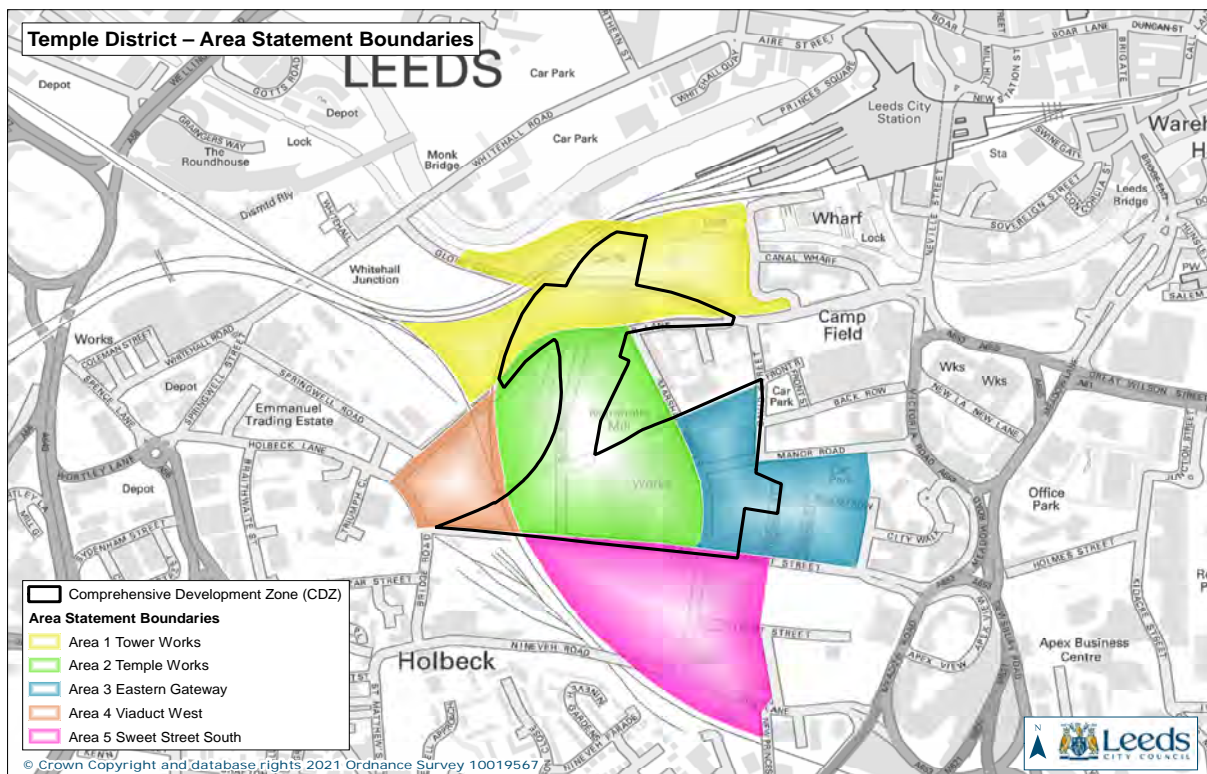
6.15.1 The design of development within the CDZ will need to take account of the historic character of the area (including as set out in the Holbeck Conservation Area Appraisal). In the Conservation Area and its setting, prevailing materials are expected to be in keeping with the area, such as red brick, sandstone and blue slate. However, as set out within the SPDs, quality modern materials are also encouraged in appropriate locations. Developments are expected to achieve the high sustainable design and construction standards, following guidance set out within Neighbourhoods for Living and Building for Tomorrow Today.

6.15.2 In line with the NPPF the National Design Guide sets out 10 characteristics that contribute towards well-designed places, and that also work to positively address environmental issues affecting climate, these are:

- i) Context
- ii) Identity
- iii) Built form
- iv) Movement
- v) Nature
- vi) Public spaces
- vii) Uses
- viii) Home and buildings
- ix) Resources
- x) Lifespan

6.15.3 Development in the Temple District will need to demonstrate how the 10 principles of good design have been taken into account through a thorough analysis of the site and a comprehensive approach to development ensuring place-making and public realm that provides identity to Temple District as a distinctive new neighbourhood.

6.15.4 The 2016 Holbeck, South Bank SPD identifies character areas within the area, which overlap with various parts of Temple District. Development proposals should have regard to the character assessments and design principles established in this SPD, taking into account recent planning history and updated national planning policy and guidance.



### **Identity**

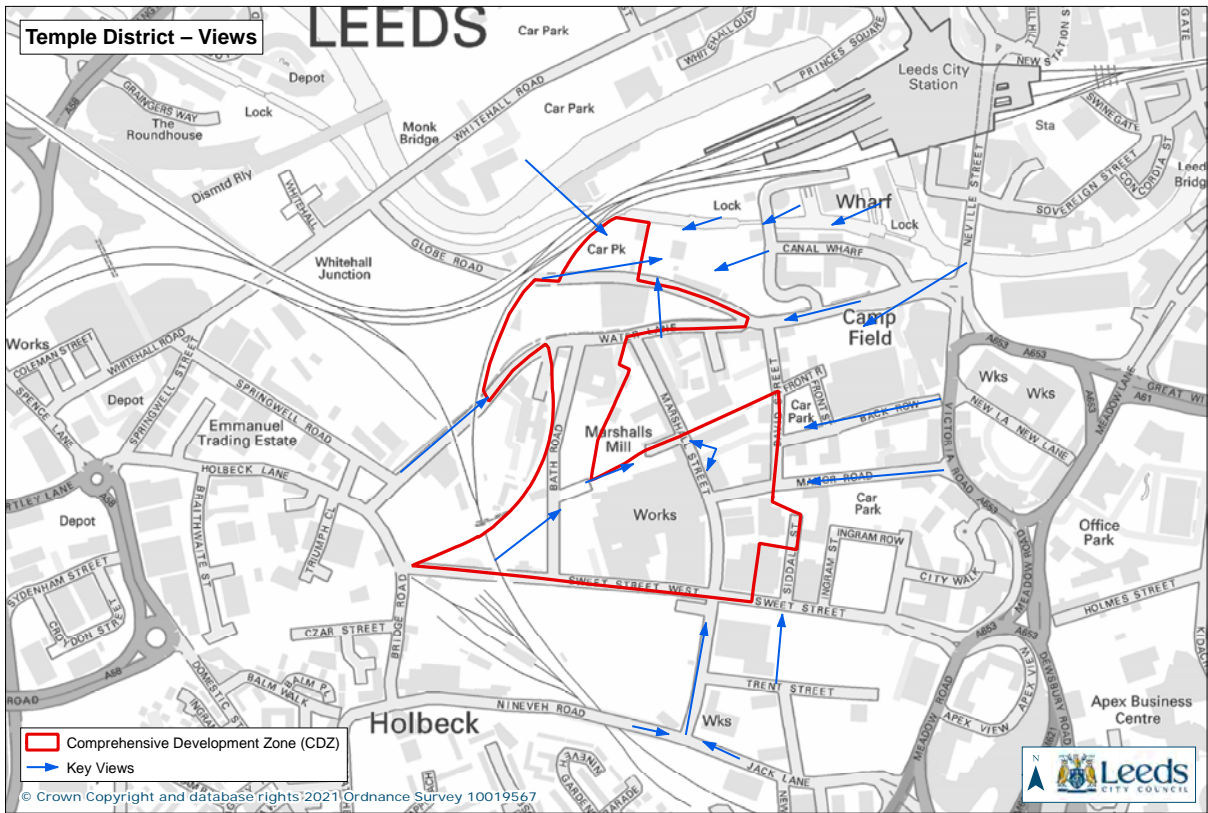
- 6.15.5 In order to provide a distinctive identity to Temple District, a cohesive and strategic approach to design and public realm will be expected. This will include development proposals making contributions to the Holbeck Urban Village Public Realm Fund as appropriate, where on-site adjacent public realm is not achievable.
- 6.15.6 The use of street furniture will be expected to provide a distinctive identity to Temple District as a new neighbourhood within the South Bank, as well as enhancing the accessibility of the area for all users.

### **Materials**

- 6.15.7 It will be important for any new development to take cues from the historic environment.
- 6.15.8 New buildings should provide high quality, contemporary architecture, whilst retaining and reinforcing the special character of this part of Holbeck and in particular the Conservation Area. Materials should be of a high quality and chosen to complement the prevailing materials used within the area historically, which are red brick, sandstone and blue slate. Quality modern materials such as steel and glass which reflect and are complementary to the area's industrial heritage would also be encouraged. Materials should be locally sourced where possible and the re-use of reclaimed materials will be encouraged, as well as low embodied carbon materials.
- 6.15.9 The overall impression of development should instil a sense of permanence and longevity, as well as responding to and being complementary to the existing historic character.

### **Views**

- 6.15.10 The Holbeck, South Bank SPD identifies key views within Temple District that should be retained and enhanced.



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6.15.11 Development proposals will also be expected to provide new views through the area, including through public spaces, to create a sense of place. Buildings may be used to create or frame new views within the District and retain existing views to development sites outside of the district, for example Tower Works.

# Delivery

## 7.0 Delivery

### 7.1 Masterplan

- 7.1.1 To ensure a comprehensive approach to development within Temple District, the Council will support a masterplan led development that takes account of and responds to the development guidance set out within this Planning Brief.
- 7.1.2 Masterplanning will also help to ensure that development achieves a Climate Ready and Nature Friendly approach to placemaking.
- 7.1.3 Community engagement and consultation must form an integral part of any masterplanning work, consistent with national planning guidance on good design and the National Model Design Code.

### 7.2 Phasing of the site

- 7.2.1 Future masterplanning within Temple District should set out a phased approach to development and infrastructure delivery to achieve the Vision for the area. In order to ensure the delivery of a policy compliant scheme, an overarching Phasing and Infrastructure Delivery Plan should be agreed as part of future planning applications.

### 7.3 Development Management

- 7.3.1 Part of the purpose of the brief is to establish the overall spatial vision and development guidance for Temple District, future planning applications will be expected to respond to aspirations and principles set out in this Brief.

- 7.3.2 The Council offers an advice service on proposals before submission of a planning application. This is not compulsory but it will make submitting a proposal easier. The advice provided will provide a useful steer on proposals, leading to better quality developments and an increased chance of a quicker decision on the application.
- 7.3.3 The pre-application service is to advise single options proposals only, however due to the scale of Temple District and the potential for its future development, it is recommended that a Planning Performance Agreement be entered into. All enquiries should be submitted on a planning pre-application advice enquiry form with the appropriate fee. If applicants require advice on multiple options for the site/development, separate enquiry forms and fees will be required.
- 7.3.4 Officers will provide advice on whether it is likely that proposals, as submitted, would be granted planning permission or not and will highlight the main issues as appropriate. More information and the relevant forms can be found on the Council's website: <https://www.leeds.gov.uk/planning/planning-permission/pre-application-enquiry-service>
- 7.3.5 Planning applications should also be supported in the usual way by appropriate documentation, including, for example: Design and Access Statements, Transport Assessments, Environmental Statements, Flood Risk Assessments and Drainage Strategies, Sustainability Assessments, waste/energy strategies and Energy Assessments.
- 7.3.6 Outline planning application(s) should be supported with evidence of comprehensive masterplanning which demonstrates how the application contributes to and delivers the key principles of this Brief.

## 7.4 Developer Contributions

- 7.4.1 The Community Infrastructure Levy (CIL) and Section 106 (S106) Agreements are separate funding regimes which are paid by the applicant / landowner.
- 7.4.2 Section 106 Agreements are used to secure site specific measures (obligations) that mitigate the direct impact of the proposed developments, where that mitigation is a) needed to make a development acceptable in planning terms, b) directly related to the development, and c) fairly and reasonably related in scale and kind to the development.
- 7.4.3 Where necessary, contributions will be sought for the delivery of open space and public realm in accordance with established practice of pooling S106 contributions towards the Holbeck Urban Village Public Realm fund.
- 7.4.4 CIL will address the broader impacts of development across the district.
- 7.4.5 The Leeds City Council CIL was adopted on 12th November 2014 with charges operable from 6th April 2015. The CIL Charging Schedule sets the charges by use per square metre of floorspace. Guidance on CIL is provided at: <https://www.leeds.gov.uk/planning/community-infrastructure-levy>

# Appendix 1

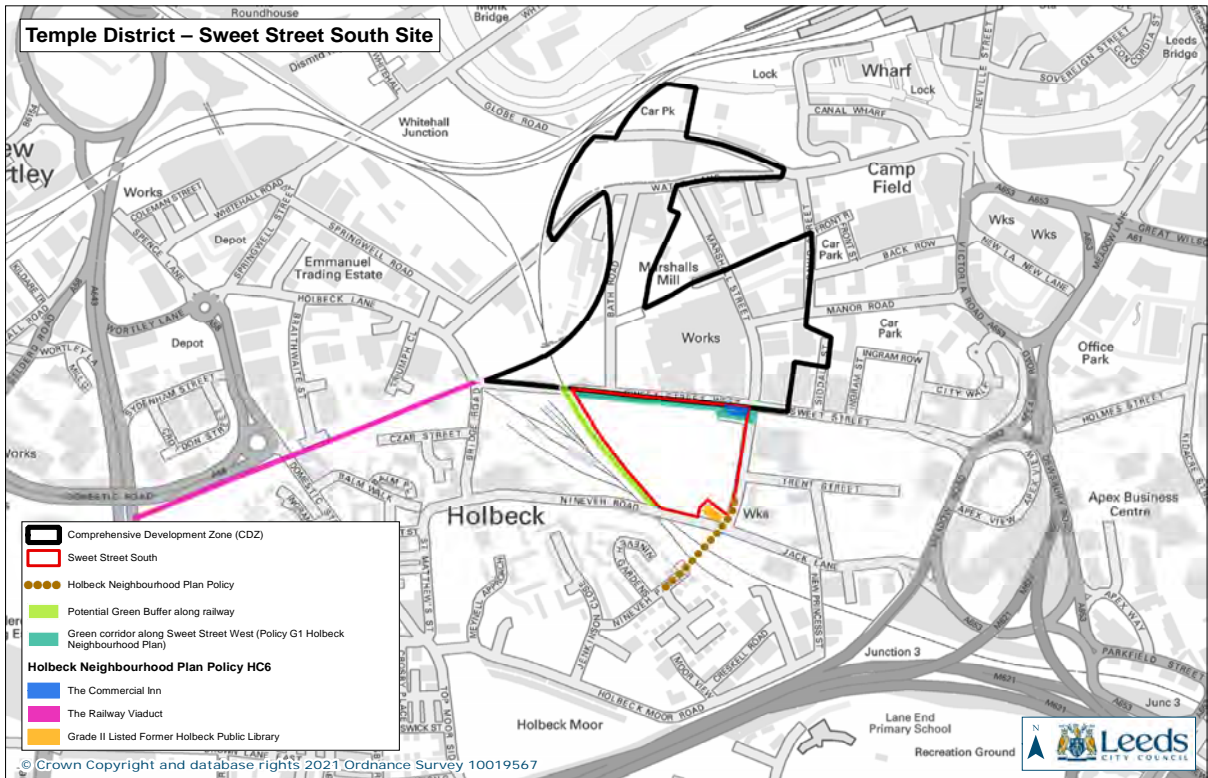
## 8.0 Appendix 1: Ensuring Successful Regeneration within Wider South Bank

### 8.1 Appendix 1A: Principles for Temple Works Zone of Influence

- 8.1.1 The development guidance and principles set out within this Planning Brief seek to ensure the delivery of a high-quality, well-connected new neighbourhood within this part of the Leeds South Bank. As the Planning Brief is based substantially on existing extant adopted development plan policy and guidance, including SPDs, many of the principles are also applicable to development sites that fall outside the CDZ.
- 8.1.2 To ensure a successful relationship between Temple District and development sites surrounding the district, applicants for sites outside of the District are encouraged to use this Planning Brief to help shape proposals.
- 8.1.3 Consideration should be given to wider connectivity aspirations within Leeds South Bank. Sites outside of the CDZ boundary should have regard to existing and proposed routes that connect through Temple District on to the wider City Centre and adjacent areas and contribute to the delivery of these routes, providing green and blue infrastructure connectivity as appropriate.
- 8.1.4 In addition to the development plan (which for the Sweet Street South site includes the Holbeck Neighbourhood Plan), applicants should also demonstrate how existing planning guidance has been taken into account, such as:
- i. The Holbeck South Bank, SPD
  - ii. The South Bank Regeneration Framework

## 8.2 Appendix 1B: Development of Sweet Street South

### Introduction



PRODUCED BY CITY DEVELOPMENT, GIS MAPPING & DATA TEAM, LEEDS CITY COUNCIL Date: 02/08/2021 Created by: NF  
 Path: L:\FPI\GIS Team\01Policy and Plans Group\Neighbourhood Planning\Comprehensive Development Zone (CDZ) -Temple Works Area\Comprehensive Development Zone (CDZ) -Temple Works Area JULY2021.mxd

- 8.2.1 Whilst the Sweet Street South site falls outside of the CDZ boundary, development principles within this brief should be taken into consideration when bringing forward proposals for the site.
- 8.2.2 The achievement of high-quality redevelopment of this site will be critical to delivering the Vision for Temple District and ensuring a successful transition between the two schemes. There are also a number of important policy considerations within the Holbeck Neighbourhood Plan which complement and contribute to the Vision for Temple District and will apply to development proposals for Sweet Street South as the site falls within the Holbeck Neighbourhood Area.
- 8.2.3 Consistent with the approach at section 6.11, an indicative capacity exercise has been undertaken to apportion the MX2-35 SAP allocation capacities for this site, although it is noted that these in no way represent maximum thresholds. The Sweet Street South site comprises of approximately 28% of the overall allocation:

	Site Area (ha)	Residential (dwellings)	Employment (ha)
MX2-35	11.37	1000	3.1
Sweet Street South	3.24	285	0.88



### **Principles for Sweet Street South**

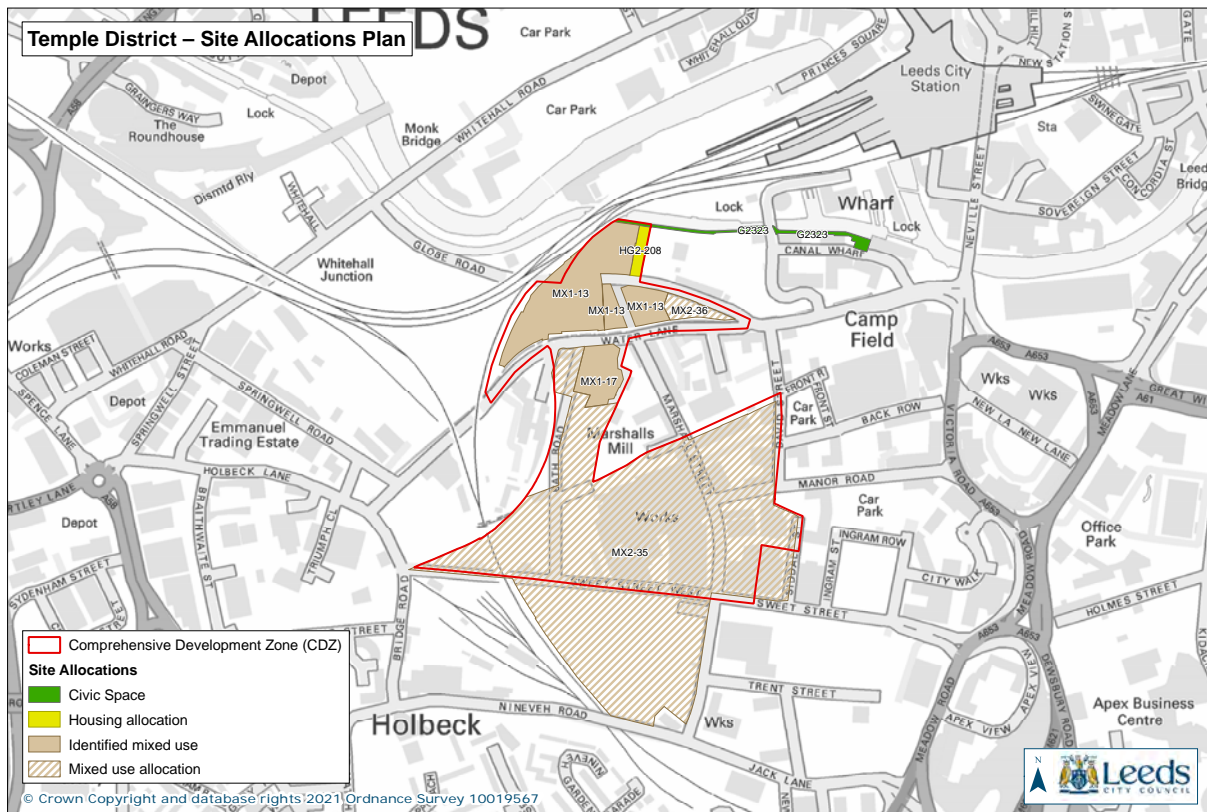
- 8.2.4 Development proposals for Sweet Street South should ensure a positive relationship with Temple District through appropriate design solutions that contribute to the overall character of the new neighbourhood. Materials should be consistent with those set out at Section 6.15, taking account of area guidance within the Holbeck South Bank SPD.
- 8.2.5 Building heights should be complementary to those in the South Zone of Temple District with an opportunity to provide skyline markers for wayfinding to the District and this part of Leeds South Bank.
- 8.2.6 In line with the SAP allocation, a mix of uses is supported at this site and consistent with Section 6.11, employment uses compatible with the Vision for Temple District are desirable, including potential for small scale or start-up businesses, creative, digital, R&D sectors and office spaces as appropriate.
- 8.2.7 There is an opportunity to provide a green buffer alongside the railway infrastructure that bounds the south-west edge of the site to provide continuity with the proposed green corridor/public realm along the Viaduct and opportunities at Bath Road.
- 8.2.8 The scheme should seek to deliver a comprehensive SuDs strategy incorporating the guidance set out at Sections 6.6 and 6.7, providing multi-functional infrastructure which supports wildlife and softens the impact of development.
- 8.2.9 Ground floor active frontages should be provided alongside Sweet Street, with the provision of a green corridor in accordance with Holbeck Neighbourhood Plan Policy G1. Identified as an early preliminary option currently under assessment for mass transit within the green corridor and cycling route, there is a desire to safeguard provision for future mass transit and frontages to the south should consider setback to facilitate this opportunity, preserving a total width of 20m (where possible).
- 8.2.10 Access should be provided through the site with a hierarchy of routes that connect into Temple District that are legible and accessible to all users in line with Section 6.9.
- 8.2.11 Where insufficient open space is provided on-site given policy requirements, contributions will be sought to the Holbeck Urban Village Public Realm Fund to provide consistency in street furniture and secure open space provision as appropriate.
- 8.2.12 Development proposals should have regard to the impact on the Commercial Inn, identified as a non-designated heritage asset within the Holbeck Neighbourhood Plan (Policy HC6).
- 8.2.13 There is a public realm opportunity at the north eastern extent of the site to provide an enhanced setting for the Commercial Inn, with opportunities to re-purpose this building as appropriate.

- 8.2.14 Development proposals should seek to address the severance issues between Holbeck (beyond the railway line) and the site. Policy T4 of the Holbeck Neighbourhood Plan identifies the long-term aspiration for the provision of a new foot and cycle bridge which connects Nineveh Parade and Marshall Street. Proposals should contribute to this project and layouts should enable this to be delivered whilst enhancing the setting of the listed Holbeck Library.

# Appendix 2

## 9.0 Appendix 2: Site Allocations Plan

### 9.1.1 Details of adopted Site Allocations Plan site requirements.



SAP Allocation	SAP Site Requirements
<p><b><u>MX2-35, Temple Works:</u></b></p> <p>11.37 hectares, mixed use allocation along the land south of Sweet Street for 1000 residential units and 3.1HA of employment land</p>	<ul style="list-style-type: none"> <li>• Older person’s housing/independent living: The site is suitable for older person’s housing/independent living in accordance with Policy HG4.</li> <li>• Highway Access to Site: Marshall Street will require improvement to create a safe pedestrian environment.</li> <li>• Local Highway Network: This site will have a cumulative pedestrian impact in the local area. Contributions will be required towards Holbeck Urban Village traffic management, streetscape and pedestrian improvements. Contributions towards the transport interventions for Meadow Lane, Victoria Road and Neville Street in line with the emerging City Centre Transport Strategy and South Bank proposals.</li> <li>• Listed Buildings: The site includes a number of Listed Buildings associated with the Grade 1 Listed Marshall Mills and there are a number of others in close proximity. Any development should preserve the special architectural or historic interest of Listed Buildings and their setting.</li> <li>• Conservation Area: The site affects the setting of a Conservation Area. Any development should preserve or enhance the character or appearance of the Conservation Area.</li> <li>• Gas Pipelines: The site is affected by a gas pipeline. Detailed design layout should have regard to the building proximity distance required. Consult with Northern Gas Networks to see if any additional plant protection provisions are needed.</li> </ul>
<p><b><u>MX2-36, Water Lane Car Park:</u></b></p> <p>0.18 hectares, mixed use allocation for land north of Water Lane for 30 units and 3000spm of office use.</p>	<ul style="list-style-type: none"> <li>• Highway Access to Site: The site should provide a north / south pedestrian route through the site, with a suitable footbridge over the Holbeck. The footway on Globe Road should be widened and a footway on Water Lane provided in conjunction with adjacent sites.</li> <li>• Local Highway Network: This site will have a cumulative pedestrian impact in the local area. Contributions will be required towards Holbeck Urban Village traffic management, streetscape and pedestrian improvements.</li> <li>• Flood Risk: The site, or part of the site is located within Flood Zone 3. Flood risk mitigation measures set out in the Site Allocations Plan Flood Risk Exception Test and site specific flood risk assessment should be applied.</li> <li>• Listed Buildings: The site is in the setting of a Listed Building. Any development should preserve the special architectural or historic interest of Listed Buildings and their setting.</li> <li>• Conservation Area: The site is within a Conservation Area. Any development should preserve or enhance the character or appearance of the Conservation Area.</li> </ul>



<p><b><u>HG2-208 Globe Quay, Globe Road:</u></b></p> <p>0.11 hectares housing allocation.</p>	<ul style="list-style-type: none"> <li>• Highway Access to Site: Footway improvements to match HUV public realm works.</li> <li>• Flood Risk: The site, or part of the site is located within Flood Zone 3. Flood risk mitigation measures are set out in the Council's "Flood Risk Exception Test" document (available on the Council's Site Allocations Plan website) and site specific flood risk assessment should be applied.</li> <li>• Ecology: An Ecological Assessment of the site is required and where appropriate, mitigation measures will need to be provided including a biodiversity buffer (not private garden space) and measures to reduce shading onto the canal along north boundary for Leeds Habitat Network.</li> <li>• Listed Buildings: The site includes a Listed Building and there are several others in its vicinity. Any development should preserve the special architectural or historic interest of Listed Buildings and their setting.</li> <li>• Conservation Area: The site is within a Conservation Area. Any development should preserve or enhance the character or appearance of the Conservation Area</li> </ul>
<p><b><u>MX1-17, Bath Road:</u></b></p> <p>0.49 hectares, mixed use identified site: land north of Water lane and east of Bath Road for 90 residential units and 4000sqm of office space.</p>	<p>None</p>
<p><b><u>MX1-13, Globe Road / Water Lane:</u></b></p> <p>1.79 hectares, mixed use identified site: land south of Globe Road and north of Water Lane for 263 residential units and 18720spm of office use.</p>	<p>None</p>

# Appendix 3

## 10.0 Appendix 3: Supporting Information

### 10.1 Temple District Comprehensive Development Zone: Planning Brief Site Boundary

- 10.1.1 The Temple District, known elsewhere as the Comprehensive Development Zone (CDZ) has evolved from a resolution of Executive Board (November 2015) which focussed on an initial proposal from Burberry PLC to relocate to this part of Leeds South Bank, including a proposal to secure and re-use Temple Works through a future phase of development.
- 10.1.2 The CDZ was further considered as part of a design and cost business case put forward to Executive Board in November 2018 seeking outline approval for capital funding injection into the reconditioning and repair of the fabric of Temple Works. Executive Board approved the recommendations of the report, including the joint working arrangement with Commercial Estates Group (CEG), the owners of Temple Works, to support the stabilisation, reconditioning and repair of Temple Works. Policy principles (including the potential for a Compulsory Purchase Order (CPO) for land surrounding Temple Works), the injection of an initial £100,000 to support weather-proofing, further grant funding arrangements (including the use of S106 public realm contributions), and the use of Council land for wider redevelopment were also agreed.
- 10.1.3 On the basis of Executive Board having considered and approved the CDZ boundary as the development zone for Temple Works and to ensure a clear purpose to the Brief, the CDZ boundary, Temple District, is also the boundary for the Planning Brief.
- 10.1.4 There are several sites adjacent to the CDZ boundary which are important to the successful and comprehensive regeneration of this part of the South Bank. Guidance for these sites is set out in existing SPDs (Holbeck, South Bank SPD and South Bank Leeds Regeneration Framework SPD). It is not the intention of this Planning Brief to repeat or replace this guidance, but further explanation of an updated context is provided. It is therefore important for context to read this Planning Brief alongside existing SPDs.



## 10.2 Potential Compulsory Purchase Order Boundary

10.2.1 On 17 March 2021 Executive Board approved a report on regeneration in the South Bank which included a proposal to amend the initial potential Temple Works CPO boundary within the Comprehensive Development Zone. The potential Temple Works CPO boundary has been revised to ensure that Council interventions within the area are linked to ensuring comprehensive development and that CPO proposals, if warranted, are directly linked to proposals for securing and stabilising Temple Works. The area shown on Map at Section 1.2 represents the area where any future CPO will be linked specifically to proposals for Temple Works. This does not preclude the Council from pursuing CPOs in the wider CDZ and its area in future as necessary for broader planning or regeneration purposes. This proposal was agreed by Executive Board.

## 10.3 Holbeck Conservation Area Boundary

- 10.3.1 The Holbeck Conservation Area lies within South Bank and takes in the north-eastern part of Holbeck and has been categorised as a conservation area 'at risk' by Historic England. It was originally designated in July 1991 and enlarged in 2005 to more accurately cover the area of special architectural and historic interest. The conservation area is important as it is the only place in Leeds where many early-to-mid-19th century industrial buildings survive and have been repurposed, many of which are listed. It is also one of the few places in south Leeds where (subject to some former demolition) original street pattern and property boundaries survive in a relatively comprehensive form, serving as a physical reminder of the industrial history of Leeds.
- 10.3.2 The Holbeck Conservation Area forms a large part of the Temple District and includes notable spaces such as the Hol Beck as well as several important historic assets. There are 43 Grade I and II\* listed buildings within a 1.5km of the CDZ, including Temple Mill and Marshalls Mill, and also several non-designated heritage assets, including the Commercial Inn.
- 10.3.3 Consideration should be given to the impacts of proposed development on the environment during and after construction, including those elements which contribute to the preserving the significance of the historic assets and their setting or any features of special architectural or historic interest which it possesses.
- 10.3.4 This may include townscape, visual impact, heritage, transport and accessibility, water environment, wind and micro-climate and any other element which may have relevance to the site.

## 10.4 Holbeck South Bank SPD Boundary

10.4.1 Adopted in 2016 The Holbeck South Bank SPD boundary extends to a wider area than the Holbeck Conservation Area Boundary. It is an extension of the boundary that was originally considered as part of the Holbeck Urban Village Planning Framework (2006). To the north it is

bounded by the southern entrance of Leeds Station leading onto Granary Wharf, to the West by the railway line and the Holbeck Neighbourhood Area, to the east by David Street and to the south by Jack Lane. Included within the boundary are key sites such as Temple Works, land at Globe Road / Water Lane, Marshalls Mill, Midland Mill and Round Foundry.

- 10.4.2 Temple District sits within the middle of the Holbeck South Bank SPD boundary and will play a key part in delivering the aspirations set out in that SPD.
- 10.4.3 It is not the intention of this Planning Brief to repeat or replace existing planning guidance set out within the SPD. Development proposals will be expected to demonstrably have taken the guidance within the SPD into account on submission of any planning application.

## 10.5 South Bank Leeds Regeneration Framework SPD

- 10.5.1 Adopted in 2018, the South Bank Leeds Regeneration Framework SPD boundary covers 253 hectares and recognises that South Bank has been targeted for growth to extend the City Centre as its location offers a range of key opportunities, including: access to highly skilled labour pools, close proximity to the City Centre and all its benefits, a motorway network, Leeds Station as well as access to the opportunities that HS2 will bring to the area in the future. The area offers a vast amount of brownfield land available for development and, in recent years, has experienced lively development activity, with sites such as Granary Wharf, Tower Works, Mustard Wharf, Ironworks, and developments at Crown Point Road being brought forward. Nevertheless, a specific solution for the repair and stabilisation of Temple Works has yet to be secured and delivered (through funding the substantial conservation deficit). The area captured within the Regeneration Framework boundary includes wider strategic initiatives within the South of Leeds such as, Temple Works, City Park, The Arbour, The Climate Innovation District and Hunslet Mills.
- 10.5.2 The location of Temple District falls within the South Bank Leeds Regeneration boundary and provides the opportunity not only to contribute to securing a future for Temple Works but to link neighbouring residential communities with the wider South Bank Area and the wider City Centre.
- 10.5.3 It is not the intention of this Planning Brief to repeat or replace existing planning guidance set out within the SPD. Development proposals will be expected to demonstrably have taken the guidance within the SPD into account on submission of any planning application

## 10.6 Holbeck Neighbourhood Area

The Holbeck Neighbourhood Plan (made in 2018), is one of the first 'inner-city' neighbourhood plans to be made in the country, is a nationally recognised and celebrated neighbourhood plan. The Holbeck Neighbourhood Area boundary is well defined by Ingram Way to the west, the M621 to the south, Meadow Road to the east and the railway and Sweet Street to the North. The north-east of the neighbourhood area between the railway and Sweet Street is also covered by the



Holbeck, South Bank SPD, lies within the wider South Bank Regeneration Framework SPD area, and connects to the southern boundary of the CDZ. There are opportunities in developing the Temple District to recognise the aspirations of the Holbeck Neighbourhood Plan, particularly in terms of connectivity and employment.

## 10.7 Best Council Plan (2020 – 2025)

10.7.1 The Best Council Plan (BCP)<sup>12</sup> maintains the Council's long-term 'Best City' strategic focus on tackling poverty and inequalities through a combination of strengthening the economy and doing this in a way that is compassionate and caring, allowing us to support the people that need it most.

10.7.2 Building on the key council partnership strategies in place and in development, the BCP sets out a number of interconnected priority areas of work. These flow in particular from long-standing 3 Key Pillars: Inclusive Growth, Health and Wellbeing, and the Climate Emergency. Taken together, a focus of 8 'Best City' priorities will deliver improved outcomes for everyone in Leeds and will contribute to making Leeds a distinctive, sustainable, ambitious and creative city. These include:

- Inclusive growth
- Health & Wellbeing
- Sustainable Infrastructure
- Child-Friendly City
- Age-Friendly Leeds
- Culture
- Housing
- Safe, Strong Communities

10.7.3 The emphasis on these priorities is crucial in establishing a 'new normal' for life in Leeds after the COVID-19 pandemic. In order to ensure that the development of Temple District plays a part in the city's recovery post-pandemic and also acts as an exemplar for future city development, the 8 strategic objectives outlined in the BCP should be embedded into the place-making of the area.

## 10.8 Leeds Climate Emergency Declaration (2019)

10.8.1 The Climate Emergency sits at the core of the BCP which recognises that tackling climate change should remain a top priority in shaping the life of the city. In 2019, Leeds City Council passed a Motion to declare a climate emergency in the city. In passing the Motion, the Council resolved not only to declare a climate emergency, but to sign up to a science based carbon reduction target consistent with achieving the Paris Agreement of no more than 1.5°C. The resolution included working to make Leeds carbon neutral by 2030.

- 10.8.2 The Council has the opportunity to change and influence climate change through various sectors including the impact of policies upon the future of the city. Taking such actions will hold out the prospect of a better city with good housing, improved transport, healthier lifestyles and greener, more attractive environments. This vision can only be achieved in collaboration with and with the support of citizens of Leeds, public and private sector institutions, the third sector and national government.
- 10.8.3 Temple District provides an opportunity to act as a potential showcase for sustainability measures and to demonstrate how a collaborative cutting edge response to the climate emergency can be achieved alongside other stakeholders, helping to achieve carbon neutrality by 2030. Through the use of an appropriate combination of low carbon technologies, passive layouts, efficient materials, sustainable and active travel as well as promotion of biodiversity, Temple District can act as an exemplar development for the city.

## 10.9 Leeds Culture Strategy

- 10.9.1 The Leeds Culture Strategy (2017-2030)<sup>13</sup> seeks to place culture at the heart of everything we do as a city and to support Council services and stakeholders to improve the quality of life in Leeds. Culture will be utilised as a tool to help understand the world around us, overcome our collective challenges and seize new opportunities.
- 10.9.2 South Bank already has a diverse cultural scene ranging from large nationally important cultural institutions to small scale independent and grassroots organisations, and so is the ideal opportunity to give culture a central focus. With its Grade I Listed status, and local, national and international significance, there is an opportunity for Temple Works to open up South Bank and help to amplify the historic grain of the area, giving Holbeck and the wider South Bank a significant role in the future of the Leeds Culture Strategy with new development actively encouraging new cultural opportunities.

## 10.10 Leeds Our Spaces Strategy (2018-2023)

- 10.10.1 The Leeds Our Spaces Strategy<sup>14</sup> launched in early 2020 and sets out how public spaces across the city will be developed to be vibrant and inclusive. Underpinned by the Council's commitment to carbon neutrality by 2030, it is a call to ensure that the creation of public realm, which should include green infrastructure, is at the forefront of all new development proposals, in a form appropriate to the area and proposals. The strategy also seeks to ensure that the delivery of new and improved public realm meets the Council's and the city's vision for the creation of world-class and inclusive spaces, that can improve the health and well-being of the City Centre and of the people who use them.

10.10.2 Leeds South Bank is identified in the framework to include ‘a network of greenspaces and public open spaces’ as well as for ‘extensive greening’, which will connect South Bank with the City Centre and to the new City Park. Temple District provides an opportunity to build upon these ambitions for green infrastructure with new public realm and open space that will open up historic street patterns and improve connections to Holbeck.

## 10.11 Leeds Inclusive Growth Strategy

10.11.1 The Leeds Inclusive Growth Strategy sets out how Leeds City Council, the private sector, universities, colleges and schools, the third sector and social enterprises in the city will work together to grow the Leeds economy. It aims to ensure that everyone in the city contributes to, and benefits from growth to their full potential. It sets out how the city intends to promote a positive, outward looking image on the global stage seeking to increase inward investment, exports and tourism.

10.11.2 In light of the economic impacts that COVID-19 has and will present, the 12 ‘big ideas’ set out in Leeds Inclusive Growth Strategy have become even more relevant. They seek to encourage inclusive growth in the city and are focused on supporting people, places and productivity. There is an opportunity for Temple District to embody these 12 ideas and to champion inclusive growth through the delivery of new employment, homes, and infrastructure within South Bank.

## 10.12 Leeds Health and Well-Being Strategy

10.12.1 The Leeds Health and Well-Being Strategy recognises that health in Leeds remains worse than the England average and that thousands of people in deprived areas live shorter lives than they should. This strategy helps us to plan how to address key challenges so health and well-being in Leeds can be fairer, better and sustainable.

10.12.2 The strategy sets out 12 priorities that will help Leeds to become a healthier, happier city. There is an opportunity for Temple District to contribute towards improving health and well-being in the city, through embodying these priorities within the development. This should be through harnessing the strength of connections to Holbeck, future blue and green infrastructure and active travel routes which will help to get more people more physically active, and also through developing a strong economy, housing and an environment which will enable people of Leeds to be healthy, social and active.

### 10.13 Leeds Economic Recovery Framework

- 10.13.1 The Leeds Economic Recovery Framework<sup>15</sup> sets out the recovery approach for Leeds post COVID-19. It recognises that the impacts of the pandemic have been unprecedented on the world economy, with forecasts predicting it to take between 2021 and 2024 to return to pre-crisis levels, and is centred on Responding, Resetting and Renewing, and Building Resilience.
- 10.13.2 Leeds is the economic heart of the Leeds City Region and in the longer term, post-pandemic, the city will return to growth. Looking forwards, the Council's ambition is not simply to return to where we were pre-Covid-19 but to create more equal opportunities, higher outcomes in education and skills and deliver an inclusive economy. Temple District is positioned to play a vital role in the city's recovery post-pandemic, as it is part of one of the region's largest, mixed-use regeneration and commercial projects which will support economic growth and vitality.

### 10.14 Connecting Leeds Transport Strategy

- 10.14.1 In 2021 the Council launched the draft Connecting Leeds Transport Strategy with the ambition of transforming the city's transport network to enable Leeds to be a city where you don't need to own a car, where walking, cycling and green public transport become the most appealing, practical and best value choices for many more journeys and where streets are attractive spaces for everyone to enjoy.
- 10.14.2 The Connecting Leeds Transport Strategy recognises the role of Leeds South Bank in supporting transformational change in the City Centre and surrounding areas.

### 10.15 The Development Plan for Leeds

- 10.15.1 This Brief has been prepared in accordance with the Development Plan for Leeds, existing planning guidance and National Planning Policy:

**National:**

- The National Planning Policy Framework (NPPF) (2021)
- Planning Practice Guidance
- The National Design Guide (2021)

**Local:**

- Saved policies of the Leeds Unitary Development Plan Review (2006)
- Leeds Core Strategy (as amended by the Core Strategy Selective Review) (2019)
- Leeds Site Allocations Plan (2019)
- Aire Valley Leeds Area Action Plan (2018)
- Leeds Natural Resources and Waste Local Plan (2013)



### **Guidance and Supplementary Planning Documents:**

- Holbeck Conservation Area Appraisal (2005)
- Holbeck South Bank SPD (2016)
- South Bank Regeneration Framework (2018)
- Holbeck Neighbourhood Plan (2018)
- Neighbourhoods for Living SPD (2003)
- Building for Tomorrow Today (2011)
- Leeds Tall Buildings SPD (2010)
- Leeds Waterfront Strategy SPD (2002)
- Draft Leeds Transport SPD
- Draft Leeds Tall Buildings SPD
- Draft HMO, PBSA and Co-Living SPD

10.15.2 The Leeds Local Plan Update (Regulation 18 Consultation July – September 2021) seeks to update the Local Plan to take further account of the Council's Climate Emergency Declaration. The objective of the Local Plan Update is the introduction of new and enhancement of existing planning policies to help address the climate emergency. This is likely to include policies on carbon reduction, flood risk, green infrastructure, place-making and sustainable infrastructure. It is not the function of this planning brief to replicate all relevant local and national planning and related legislation and policy which may be relevant to the successful delivery of the Temple District and re-purposed Temple Works. Whilst the Planning Brief signposts to relevant policies and guidance, emerging policy will need to be considered where relevant at the time an application is submitted.

## **10.16 National Planning Policy Framework**

10.16.1 As well as considering local policy ambitions, development within Temple District will need to take account of the emphasis the NPPF places on achieving Sustainable Development goals by 2030 through economic, social and environmental objectives, as well as the opportunity to help achieve on sustainability through creating well-designed places, a need of which has become especially important in light of the impacts of COVID-19 on the way that we use space and place.

10.16.2 The NPPF states that achieving high quality places and buildings is fundamental to the planning and development process and that design quality should be considered throughout the evolution and assessment of individual proposals, with early discussion between applicants, the local planning authority and local community about the design and style of emerging schemes. In support of these ambitions, the National Model Design Code (NMDC) and National Design guide (NDG) set out priorities and guidance for good design.

10.16.3 High quality design and place-making are key considerations for ensuring successful regeneration in Temple District, and future development will need to demonstrate how it will achieve these ambitions, taking into account the guidance provided within the NMDC, NDG and this planning brief.

# Endnotes

- 1 Historic England, Enabling Development and Heritage Assets: Historic Environment Good Practice Advice in Planning Note 4:  
<https://historicengland.org.uk/images-books/publications/gpa4-enabling-development-heritage-assets/heag294-gpa4-enabling-development-and-heritage-assets/>
- 2 Leeds City Council, Executive Board, November 2018:  
<https://democracy.leeds.gov.uk/ieDecisionDetails.aspx?AllId=69616>;  
Leeds City Council, Executive Board, March 2021:  
<https://democracy.leeds.gov.uk/ieListDocuments.aspx?CId=102&MId=9981&Ver=4>
- 3 Leeds City Council, Executive Board, March 2021:  
<https://democracy.leeds.gov.uk/ieDecisionDetails.aspx?AllId=82997>
- 4 Section 38(6) Planning and Compulsory Purchase Act 2004
- 5 Leeds City Council, FAS Phase 1 in Numbers: <https://www.youtube.com/watch?v=TyxGKsyVGJU>
- 4 Leeds Building for Tomorrow Today SPD (2011), available from:  
[https://www.leeds.gov.uk/docs/01.%20%20Building%20For%20Tomorrow%20Today%20SPD%20\(complete\).pdf](https://www.leeds.gov.uk/docs/01.%20%20Building%20For%20Tomorrow%20Today%20SPD%20(complete).pdf)
- 7 Leeds Building for Tomorrow Today Update Note (2020):  
<https://www.leeds.gov.uk/docs/Building%20For%20Tomorrow%20Today%20-%20Update%20Note%20June%202020.pdf>
- 8 Draft Connecting Leeds Transport Strategy:  
[https://s3-eu-west-2.amazonaws.com/commonplace-customer-assets/leedstransportstrategy/Leeds%20Transport%20Strategy\\_p11.pdf](https://s3-eu-west-2.amazonaws.com/commonplace-customer-assets/leedstransportstrategy/Leeds%20Transport%20Strategy_p11.pdf)
- 9 Historic England Advice Note 4, Tall Buildings:  
<https://historicengland.org.uk/images-books/publications/tall-buildings-advice-note-4/heag037-tall-buildings/>
- 10 Leeds Draft Tall Buildings SPD (<https://www.leeds.gov.uk/docs/Tall%20buildings%20design%20guide%20SPD.pdf>) defines tall buildings as: a tall building is one which is taller than its neighbours and/or which significantly changes the skyline, context or character of an area.

- <sup>11</sup> Leeds City Council, Wind and Microclimate Toolkit (2021)  
[https://www.leeds.gov.uk/docs/Draft wind and microclimate toolkit.pdf](https://www.leeds.gov.uk/docs/Draft%20wind%20and%20microclimate%20toolkit.pdf)
- <sup>12</sup> Leeds City Council, Best Council Plan 2020 – 2025:  
<https://www.leeds.gov.uk/docs/BCP%202020-2025.PDF>
- <sup>13</sup> Leeds Culture Strategy: <https://democracy.leeds.gov.uk/mgConvert2PDF.aspx?ID=154329>
- <sup>14</sup> Leeds Our Spaces Strategy:  
<https://democracy.leeds.gov.uk/documents/s180448/City%20Centre%20Vision%20Our%20Spaces%20Strategy%20Report%20Appendix%20B%20070918.pdf>
- <sup>15</sup> Leeds Economic Recovery Framework:  
<http://www.leedsgrowthstrategy.co.uk/wp-content/uploads/2020/10/Leeds-Economic-Recovery-Framework-FINAL-1.pdf>



# Temple District **Planning Brief**