



Report of the Chief Planning Officer

PLANS PANEL EAST

Date: 16th June 2011

Subject: APPLICATION 11/01288/FU: Retention of detached double garage to the rear, 104 Leeds Road, Oulton

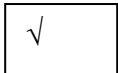
APPLICANT
Mr M Pickles

DATE VALID
28/03/2011

TARGET DATE
23/05/2011

Electoral Wards Affected:

Rothwell



Ward Members consulted
(referred to in report)

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: GRANT PERMISSION

1. Development carried out in accordance with approved plans and what has been constructed on site.

1.0 INTRODUCTION

- 1.1 The application is brought to Plans Panel by request of Councillor Wilson to allow a site visit to be undertaken to enable Members to fully assess the impact the proposal would have on the wider streetscape.

2.0 PROPOSAL

- 2.1 The application is for retrospective planning permission for a detached double garage to the rear of 104 Leeds Road. The garage has a footprint of 8 metres by 7.5 metres, ridge height of 3.882 metres and eaves height of 2.25 metres. The roof design is pitched with red clay roof tiles to match those of the existing property. The walls are constructed from red brick. The construction of the garage has required a degree of excavation necessitating a retaining wall with a maximum height of 0.9 metres.

3.0 SITE AND SURROUNDINGS:

3.1 The application relates a large detached property set back from Leeds Road to the front. The section of Leeds Road in which the property sits consists of a mixture of property designs though predominantly large detached properties set within generous plots. The rear garden is enclosed by 1.8 metre boundary fence together with mature landscaping. The site is located at a higher level than the neighbouring 102 Leeds Road. This property has a large detached garage to the rear.

4.0 RELEVANT PLANNING HISTORY:

Planning Applications

4.1 22/212/04/FU - Alterations to roof including balcony to front – Approved in 2004

Pre application

4.2 None

5.0 HISTORY OF NEGOTIATIONS:

5.1 Prior to the construction of the garage, the applicant submitted the scheme to City Development enquiring whether planning permission was required. The advice given was the following:

'From the information that you have provided, it is considered that your proposal constitutes development which is deemed to be permitted under the terms of the Town and Country Planning (General Permitted Development) Order 1995 (as amended). This means that under current circumstances you do not have to apply for planning permission, providing the use remains ancillary to the main dwelling.'

5.2 The dimensions of the garage submitted were the same as that subsequently constructed. However, following an enquiry from a local resident about the lack of planning permission for the garage and enquires made by the Planning Compliance team it was found that the due to the height of the garage and its proximity to the side boundary it did not constitute permitted development and as such the applicant was invited to submit a planning application.

5.3 As the original advice provided regarding the garage constituting permitted development fell below the standard expected it was deemed appropriate to waive the planning application fee.

6.0 PUBLIC/LOCAL RESPONSE:

6.1 One letter of representation has been received raising the following concerns:

- The garage is too large, out of scale with surrounding properties
- The retaining wall has artificially raised the ground level at the boundary and as the applicant has constructed a 2 metre fence on top of this exceeds the 2 metre fence boundary treatment limit.
- In light of this both the garage and fencing should be removed.

7.0 CONSULTATIONS RESPONSES:

None

8.0 PLANNING POLICIES:

- 8.1 The development plan includes the Regional Spatial Strategy to 2026 (RSS) and the adopted Leeds Unitary Development Plan (Review 2006). The RSS was issued in May 2008 and includes a broad development strategy for the region, setting out regional priorities in terms of location and scale of development. Accordingly, it is not considered that there are any particular policies which are relevant to the assessment of this application.

Policy GP5 - Seeks to ensure that development proposals resolve detailed planning considerations, including amenity.

Policy BD6 - All alterations and extensions should respect the scale, form, detailing and materials of the original building.

Planning Policy Statement 1

Delivering Sustainable Development (PPS1) sets out the Government's overarching planning policies on the delivery of sustainable development through the planning system.

SPG 13 – 'Neighbourhoods for Living'

Supplementary planning guidance related to residential design in Leeds.

9.0 MAIN ISSUES

- Streetscene/design and character
- Residential amenity

10.0 APPRAISAL

Streetscene / design and character

- 10.1 Careful consideration has been given to the impact the double garage has on the design and character of the existing property and the wider street scene. Whilst it is accepted that the garage is large, the site in which it sits is generous, with sufficient garden space being retained to prevent the garage appearing cramped within its surroundings. The design, construction and materials are of an acceptable standard, with the pitched roof and gable window providing a degree of design detailing and visual relief to the building. The design and proportions also reflect the existing detached garage of 102 Leeds Road.
- 10.2 With regard to the impact the garage has on the wider street scene, its location to the rear of the property is such that there are only limited views of the garage from the road. In light of this, the garage has a very limited impact on the wider street scene.

Residential Amenity

- 10.3 Consideration has been given to the impact the garage has on the residential amenity of the neighbouring properties, in particularly 102 Leeds Road. The garage is located 6 metres from the rear elevation of the existing dwelling. This rear building line is comparable with the rear building line of the single storey extension of 102 Leeds Road, the closest point of this property to the garage. This degree of separation is considered sufficient to prevent any significant overshadowing or dominance of either the inside living accommodation or the private amenity space to the immediate rear of the property. Furthermore, the relatively low eaves (2.25 metres) and the lowering of the floor level of the garage from original ground level has further reduced the impact of the garage on the neighbouring property.
- 10.4 With regard to the new fence, this has been located on the raised ground level such that the combination of the retaining wall and fence results in boundary treatment significantly in excess of 2 metres. However, this does not form part of the planning application and therefore cannot be taking into account in determining this planning application. Planning Compliance are aware of the issue and are investigating.

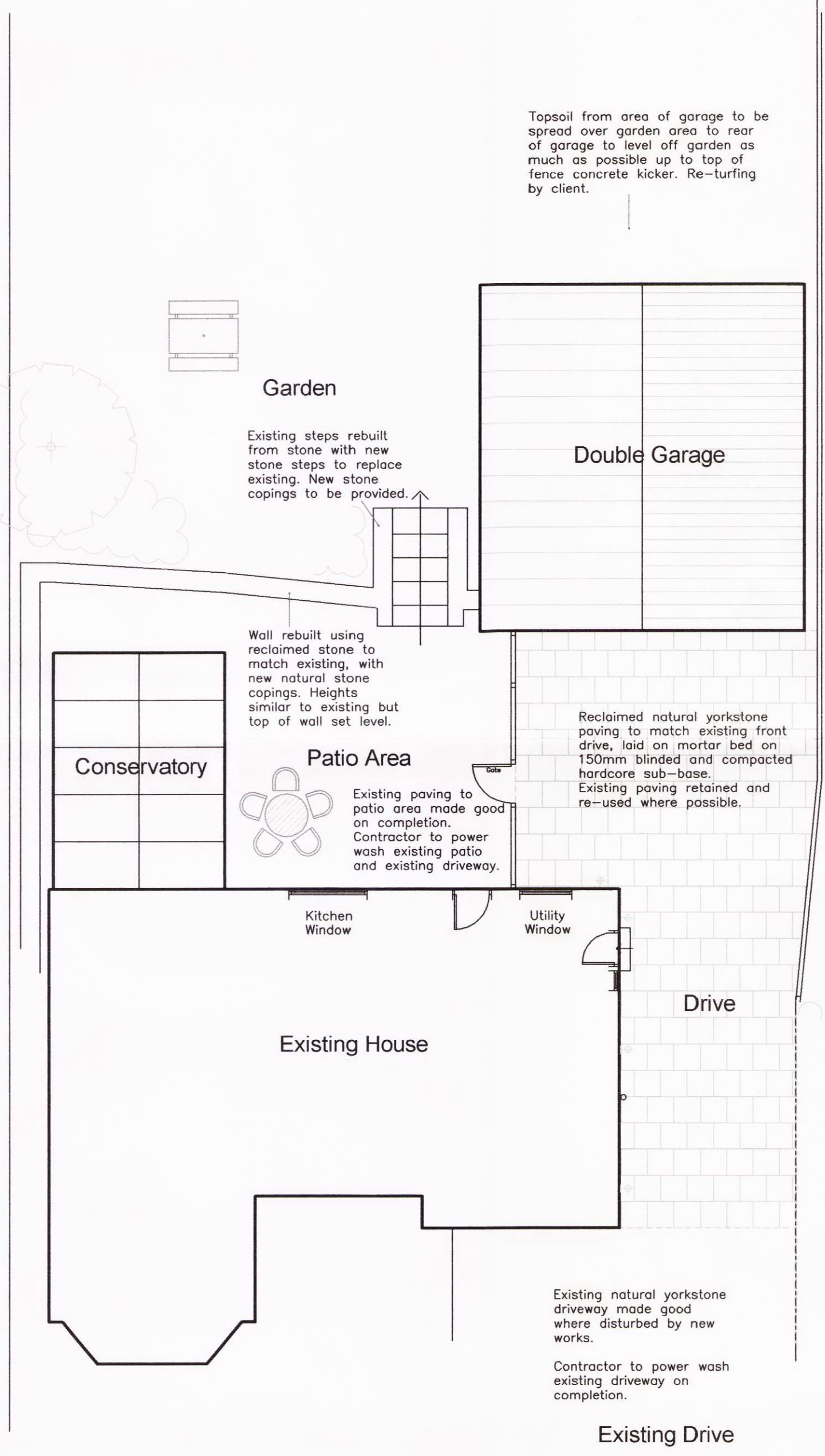
11.0 CONCLUSION

- 11.1 For the reasons outlined in the above report and taking into account all other material considerations it is recommended that planning permission should be approved.

Background Papers:

Application files 11/01288/FU

Certificate of ownership: Signed by applicant



PROPOSED SITE PLAN - 1:100



LOCATION PLAN - 1:1250

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PLANNING NOTES

- Facing bricks and roof coverings to match existing.
- Surface water drainage to discharge into existing surface water drain - exact locations to be determined on site.
- Foul water to discharge into existing foul drains.

DRAFT ISSUE ONLY
Subject to Building Regulations Approval.



Rev	Amendment	Date	Sign
A	Plans revised following mtg 26/7	26/7/10	RAJ

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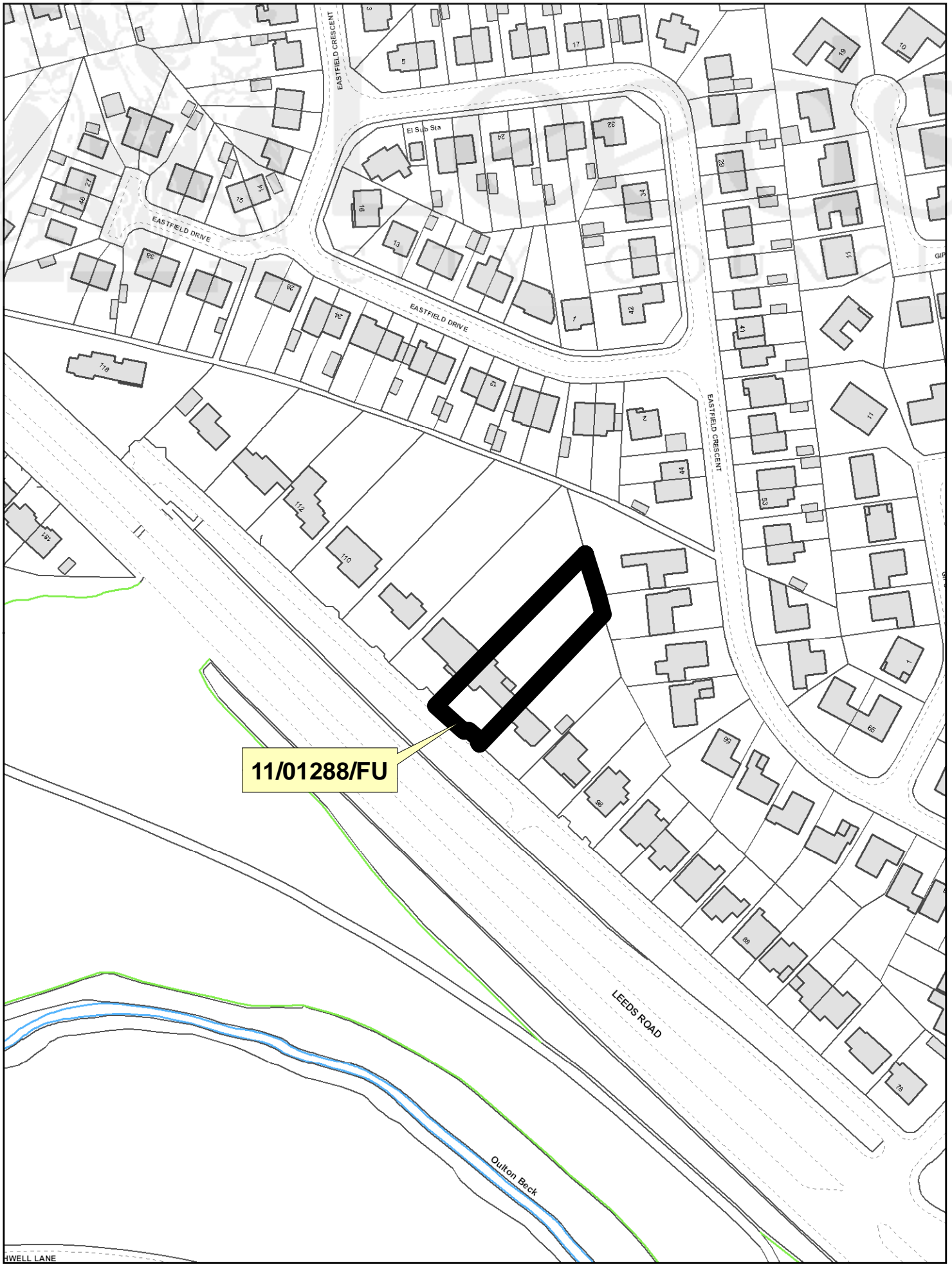
Project
Proposed Double Garage
104 Leeds Road, Oulton

Client
Mr M. Pickles

Subject
Proposed Site Plan

Date Jul '10	Scale As Shown	Dwg No 5933/05A
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EAST PLANS PANEL