



Leeds
CITY COUNCIL

Originator: B Patel

Tel: 0113 247 8768

Report of the Chief Planning Officer

PLANS PANEL EAST

Date: 15 July 2011

Subject: APPLICATION 11/01837/FU – Single storey side and rear extension at 51 Pondfields Drive, Kippax, Leeds, LS25 7HJ

APPLICANT

P Babington

DATE VALID

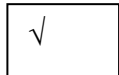
12 May 2011

TARGET DATE

9 June 2011

Electoral Wards Affected:

Kippax & Methley



Ward Members consulted
(referred to in report)

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: GRANT PERMISSION subject to the specified conditions:

1. Time period for completion.
2. Development in accordance with approved plans.
3. Materials to match existing.
4. No windows in the side elevations.
5. The development shall not be occupied or brought into use until the two car parking spaces indicated on the approved plans, have been laid out, hard surfaced and drained such that surface water from within the site does not discharge onto the highway.
6. A secure lockable cycle parking space must be provided.
7. Provision for storage of refuse bins.

Reasons for approval: The proposed development is considered to be acceptable having had regard to Policies GP5, and BD6 of the Leeds Unitary Development Plan Review and all other material considerations. The proposed development will close the gap in the street scene. However the vast majority of the proposed development could be carried out as Permitted Development and therefore in light of the fallback position it would appear unreasonable to reuse the extension.

1.0 INTRODUCTION:

- 1.1 The application is brought to Panel at the request of Councilor Lewis as the proposal does not address previous concerns relating to streetscene. The proposal is a resubmission of a scheme previously considered by Plans Panel on 16th December 2010. At that Panel Members were concerned about the proposal in relation to streetscene and spatial setting and character of the area. Members requested that the application be brought back to Panel with suggested reasons for refusal. That application was subsequently withdrawn. The resubmission is similar to that scheme however the difference being that it is set back from the main front elevation of the house in order to try and overcome the streetscene concerns.
- 1.2 Members should note that the side and rear extension could be built as permitted development and therefore not need planning permission from the council. The only reason permission is required is due to the North East corner of the proposed extension, which wraps around the back corner of the house and links the side and rear extensions, that falls outside the scope of permitted development and means that planning permission is required

2.0 PROPOSAL:

- 2.1 The applicant seeks full planning permission to construct a single storey wrap around extension to the side and rear of a detached property.
- 2.2 The side extension will be set 0.5m back from the main front elevation of the house. It will measure 2.6m in width, will be a maximum of 8.7m in length abutting the side boundary. A garage door will be present in the front elevation.
- 2.3 The rear extension will measure 9.0m in width and 2.0m in length. Windows are proposed to the rear elevations only with access door also opening to the rear. Two sky-lights are also proposed in the rear roof. The extension will have a shallow hipped roof which measures less than 2.5m and 3.8m to the eaves and ridge respectively.
- 2.4 The extension will create a garage with WC. The extension will create an enlarged kitchen and dining room.

It is noted that the side and the rear extension would fall within Permitted Development if the wrap around/link element was removed.

3.0 SITE AND SURROUNDINGS:

- 3.1 The application relates to a gable fronted detached property with a pitched roof set below the highway. The dwelling is sited marginally behind and on a slightly lower land than the neighbouring dwelling at 53 Pondfields Drive and is located within a row of eight dwellings which are stepped and are similar in size, scale and design. A side drive leads to the applicant's flat roofed detached garage. There are small and medium sized gardens to the front and rear respectively. The side boundary treatment with neighbouring property at 53 Pondfields Drive is a wooden fence approximately 2.0m high. There is a conservatory at the rear of 53 Pondfields Drive set away from party boundary and the side elevation facing the application property is obscured glazed. The dividing boundary between the host and the adjoining neighbour at 49 Pondfields Drive is a mix of 2.0m high brick wall with wooden panel above changing to vegetation further towards the rear boundary. The rear garden falls away towards the rear boundary and the screening present along the rear boundary is of a 1.8m high brick wall with fence panel above.

4.0 RELEVANT PLANNING HISTORY:

- 4.1 33/85/02/FU – Single storey front extension. Approved 29 April 2002.
H33/238/77/ - Detached brick garage to rear. Approved 16 May 1977.
10/04283/FU – Single storey side and rear extension. Withdrawn 31 December 2010. Presented to Plans Panel 16.12.2010 Members requested that officers bring back suggested reasons for refusals.

5.0 HISTORY OF NEGOTIATIONS:

None

6.0 PUBLIC/LOCAL RESPONSE:

- 6.1 **Councillor James Lewis** raised the following concerns:
The design would lead to terracing effect on a street of primarily detached properties.
There is no adequate provision for bin storage.
- 6.2 **Kippax Parish Council** raise concerns regarding bin storage, the impact of the parking area on the character of the street and issues of maintenance. The need for matching materials is also noted.
- 6.3 **Neighbour objection** from the residents at 53 Pondfields Drive. The occupiers of 53 Pondfields Drive believe that their objections to the previous scheme are still valid. The followings objection points were raised:

The extension is out of character. The extension will give the appearance of two properties being linked.

The extension's close proximity will not allow for the maintenance of the exterior wall and guttering of the neighbouring property at 53 Pondfields Drive.

The excavation works required for the foundations for the side extension will be in close proximity of the foundations of 53 Pondfields Drive.

The garage is too small and will not be used for parking a car and will lead to on-street parking.

Concerns regarding the storage of bins.

An objection has been received from a resident in Pondfields Drive. However the objector wants to remain anonymous and therefore little weight can be attached to their comments. The following objections were raised:

The proposal will change the face of the street due to most of the houses being of similar appearance.

Putting a double drive on the property will also make the garden/drive look like a garage forecourt.

The proposal would block light into number of properties at the rear gardens.

The extension will devalue the neighbouring properties.

A late objection, also anonymous, has included a photograph of the streetscene to illustrate the character of the area. This objection letter, to which little weight can also be attached, raises concerns regarding terracing, the effect of a dropped curb (sic) and the impact of a van parked on the applicant's drive which will affect views from neighbouring windows.

7.0 PLANNING POLICIES:

- 7.1 The development plan includes the Regional Spatial Strategy to 2026 (RSS) and the adopted Leeds Unitary Development Plan (Review 2006). The RSS was issued in May 2008 and includes a broad development strategy for the region, setting out regional priorities in terms of location and scale of development. Accordingly, it is not considered that there are any particular policies which are relevant to the assessment of this application.

Policy GP5 - Seeks to ensure that development proposals resolve detailed planning considerations, including amenity.

Policy BD6 - All alterations and extensions should respect the scale, form, detailing and materials of the original building.

Planning Policy Statement 1

Delivering Sustainable Development (PPS1) sets out the Government's overarching planning policies on the delivery of sustainable development through the planning system.

SPG 13 – 'Neighbourhoods for Living'

Supplementary planning guidance related to residential design in Leeds.

8.0 MAIN ISSUES

- Permitted Development.
- Townscape / Design and Character.
- Privacy.
- Overshadowing/Over dominance.
- Highways
- Local objections.

9.0 APPRAISAL

Permitted Development

- 9.1 Members should note that the applicants could build the vast majority of the scheme without requiring planning permission. The scheme would need amending to exclude the north east corner wrap around element, which houses a WC and entrance way at the rear. Therefore a side extension omitting the rear corner but with essentially the same shape, form and same relationship to the neighbouring dwelling can be built under permitted development without reference to Local Planning Authority. The applicant's have amended the scheme by setting it back from the front of the dwelling in order to try and overcome the concerns raised by Members in relation to the streetscene raised at the December Panel.

Townscape / Design and Character

- 9.2 The proposed extension is considered to represent a sympathetic addition to the host property in terms of design and style with the materials also matching those existing. It is noted that there are no similar single storey extensions within the immediate streetscene. However, the extension is single storey in nature, set 0.5m back from the main front elevation of the house, respecting the scale form and detailing of the original house and is considered to comply with Unitary Development Plan Policy BD6. With the extensions modest size and height, it is

considered that there will little impact on the appearance of the wider streetscene.

Objections raised regarding the front garden being hard surfaced are noted. However, this work could be constructed without needing planning permission under permitted development.

Privacy

- 9.3 There are no windows proposed in the side elevation of the proposed single storey side extension. The windows proposed in the rear elevation will directly overlook the applicant's rear garden with a sufficient distance (9m) retained to the rear boundary to prevent significant overlooking.

Overshadowing / Over dominance

- 9.4 The proposed extensions are single storey in nature and relatively modest in terms of size and scale. Their positioning in relation to neighbouring sites will mean that a significant overshadowing or overdominating impact is not anticipated over primary living or garden areas. It is noted that objections have been raised regarding the proposed development resulting in loss of light to neighbouring gardens. As noted above the extension is modest in size and scale of which vast majority could be built without requiring consent. Objection relating to the proximity of the proposal to the conservatory at 53 Pondfields Drive is noted. However, the side elevation of the conservatory facing the application site is obscured glazed, therefore the extension is not considered to have significant overshadowing impact.

Parking provision/Highway Safety

- 9.5 It is acknowledged that the proposed garage is not wide enough to accommodate a car to be parked within it. However, this is not considered to be detrimental to highway safety as the proposal incorporates two off-street car parking spaces within the application site which would be conditioned to be retained for the lifetime of the extension. Cycle parking could be provided within the garage but is conditioned so that details of this are submitted to the Planning Authority.

Local Objections

- 9.6 The majority of objection points have been addressed in the planning appraisal. Matters relating to land ownership, foundations and future maintenance are not material planning considerations and cannot be considered as part of this application. A condition is suggested to demonstrate the location of wheelie bin storage. It is considered that there is adequate space within the site for such a store to be accommodated either to the front or within the garage area. There

are two off street parking spaces shown without dependence on the garage which is of a substandard size to accommodate a car in any case.

It is noted that the neighbours have posed a hypothetical question regarding the space standards for new dwellings. However, each application must stand or fall on its own merit with reference to material considerations of the site. The issue here does not relate to a new build scheme but rather whether it is reasonable to refuse the whole scheme given the PD fall back position.

10.0 CONCLUSION

- 10.1 The scheme is very similar to the previous application with the main difference being that the proposed side extension is now set back from the front of the house by 0.5m. The recommendation for permission reflects the fact that much of what is proposed could be carried out as 'permitted development' and therefore does not need planning permission from the Council. It is noted that the proposal will partially close the gap in the street scene however, given the applicants fallback position in this instance it would appear unreasonable to refuse the application.

Background Papers:

Application and history files.

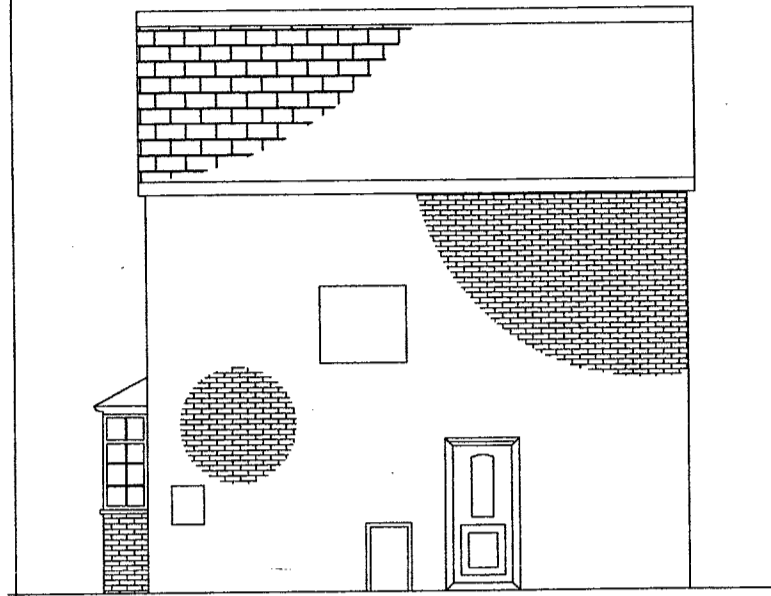
Certificate A signed by the applicant declaring that all land is owned by applicant.

NOTES

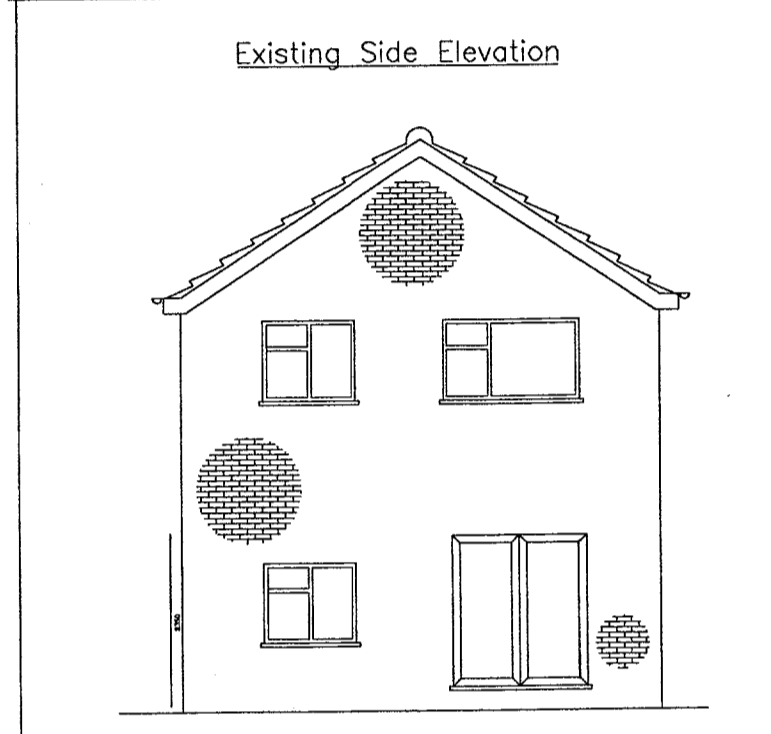
- All works to comply with the current Building Regulations, British Standards, BBA Certificates and Codes of Practice as appropriate and to be approved by the Building Inspector.
- Condition of existing foundations, walls, lintel and timber members to be examined for adequacy of carrying revised loading and approved by the LA Building Inspector.
- Foundations to be concrete strip footings 600mmx200mm with a minimum depth of 700mm below ground level. Concrete to be C35 to BS8110 to contain minimum 300kg/m³ OPC water cement ratio of 0.6. Concrete lintel "R6" to be provided for bridging below ground drains.
- External walls to have 100mm brickwork, 100mm cavity with 100mm Rockwool full fill cavity insulation 100mm blockwork 100mm cavity with 100mm Rockwool full fill cavity. Cavity ties to be Ancon CCL 511 stainless steel 225mm long at 450mm vertical centres and 750mm horizontal centres staggered. Ties at 225mm centres vertically to jambs of openings. Cavity to be closed at eaves and continuous with existing walls. Wall to be finished internally with 13mm two coats of plaster.
- Damp proof course to be Hyload pitch polymer load bearing dpc. Supply and fix Thermabate cavity closers to provide robust vapour barrier and prevent cold bridging around all window and door openings. All fitted to manufacturers instructions. Access door to have 775 clear opening.
- All windows to be double glazed with low E glass inner leaf 16mm air gap. Provide background ventilation of 8000m² trickle ventilation to habitable room with opening area not less than 5% of the floor area. Low level glazing below 800mm to have toughened glass and designed for containment. All glazing to Part N.
- Matching Concrete roof tiles nailed to 38x25 tanalised battens on tyvek breather membrane lapped 150mm horizontally and 450mm vertically lapped into gutter to form drip. Sloping roof to have 50x200 C16 joists @ 600 centres with 150mm kingspan between rafters lapped with wall insulation and 12.5mm plasterboard underdrawn. Eaves to have 25mm continuous ventilation equivalent. Hip to be 50x300 C16.
- Lintels to openings in external walls to be Catnic CG type UNO and internal to be Naylor Lintels R6 or similar all with 150mm bearing minimum.
- Non load bearing internal walls to be timber stud partition walls with 75x50mm sawn soft wood at 450mm vertical centres and noggins at 900mm horizontal centres, 100mm rockwool sound insulation and plated with 12.5mm Gyproc wall board and skim finish.
- Below ground drainage to have UPVC 100mm diameter with flexible joints laid in granular bed at a min. 1:40 gradients. Inspection chamber 225mmØ where invert level is less than 600mm otherwise 450mm Ø if deeper. Provide soil and vent pipe at the head of the drain run and terminate 900mm above window openings.
- Above ground drainage consist of 32mm waste pipe to hand basin and sink fitted with 75mm deep seal anti-vac traps 100mm Ø waste pipe to wcs.
- Provide mechanical ventilation toilet not less than 15 ltrs per second. All fans to be capable of intermittent operation. Ventilation to kitchen to be not less than 60l/s or 30l/s in kitchen hood.
- Lighting to be energy efficient type and all electrical work to meet Part P installed, inspected, tested and certified by a competent person. Allow for 12no double sockets and 17 spot lights. Switches and sockets to be between 450mm and 1200mm above FFL. Provide 2No external light with PIR to the rear.
- All dimensions to be checked prior to fabrication.
- All steel to BS5950 protected with 12.5mm pink plaster board.
- All timber to BS5268.
- All masonry to BS5628 mortar designation 1:1:3.



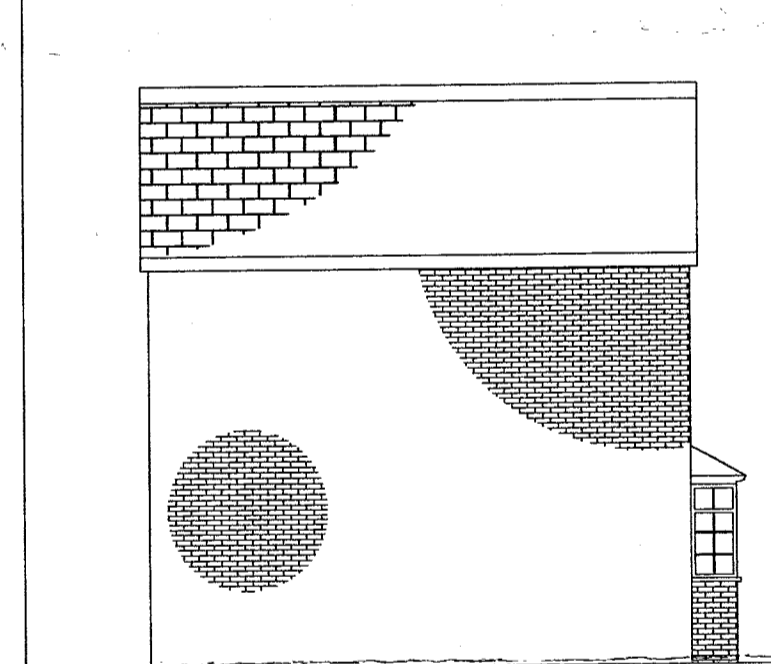
Existing Front Elevation



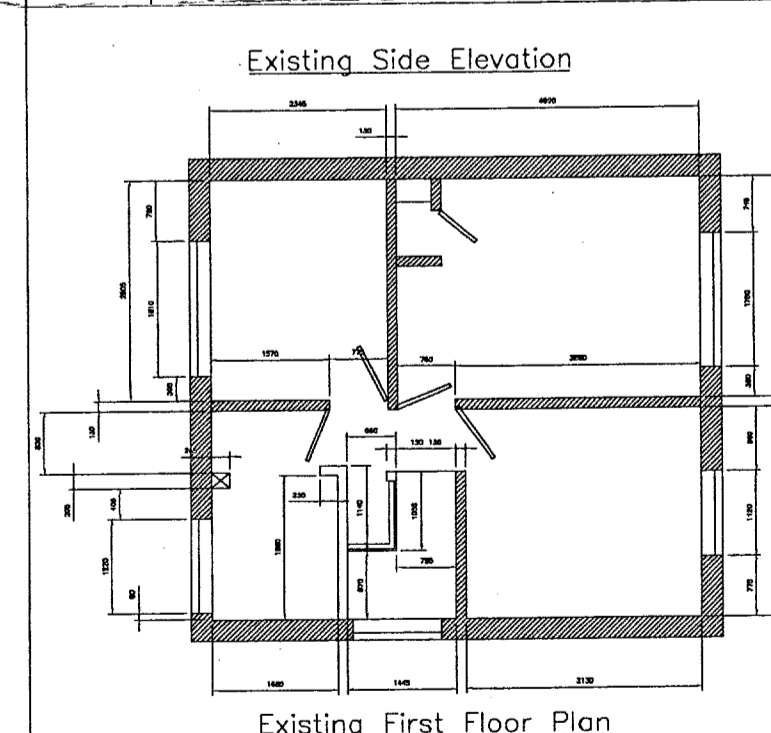
Proposed Front Elevation



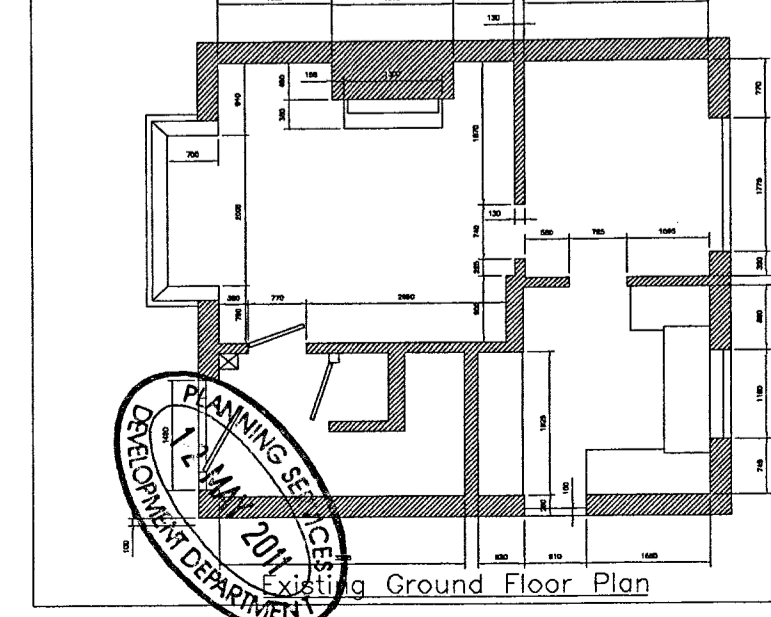
Existing Side Elevation



Proposed Side Elevation



Existing Rear Elevation

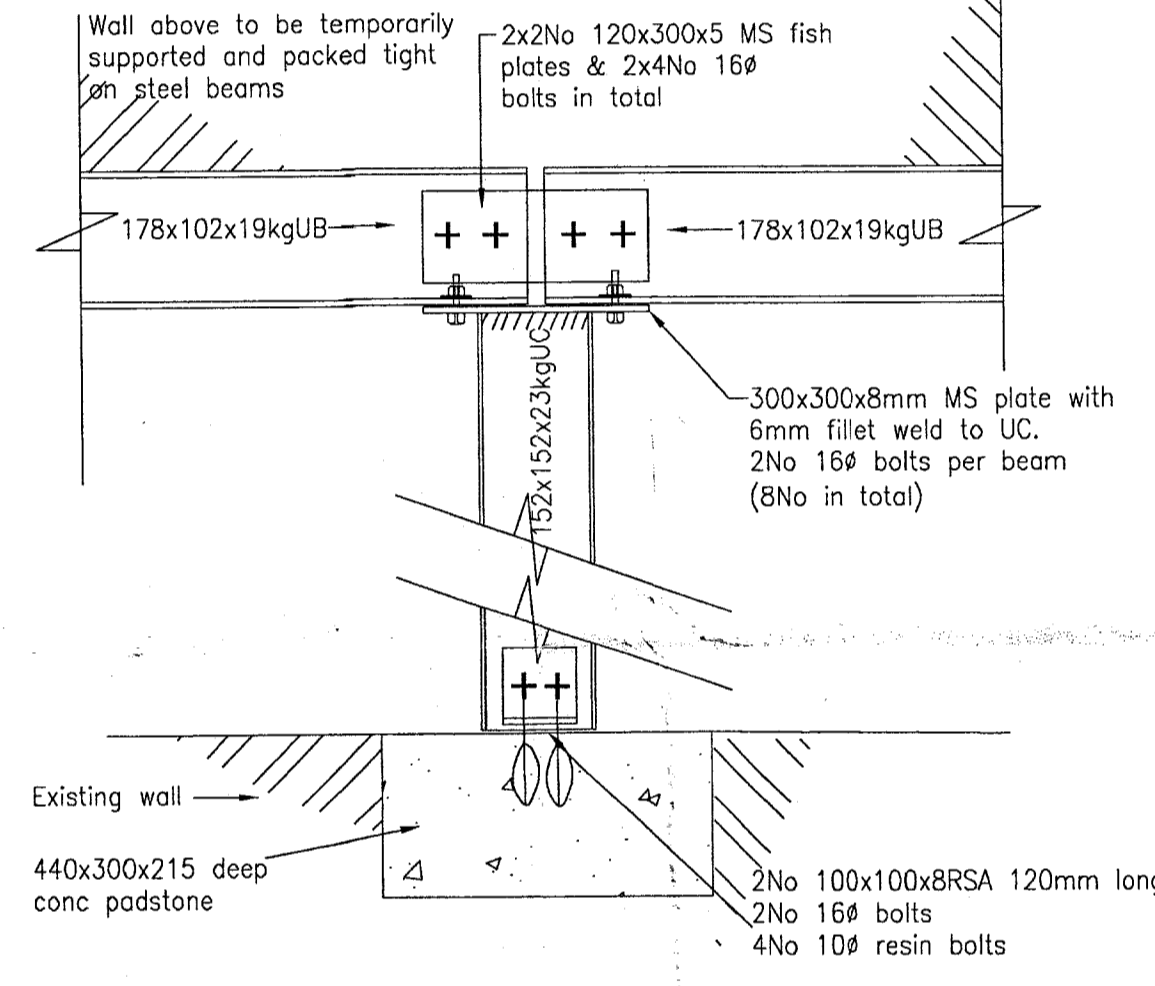


Proposed Rear Elevation

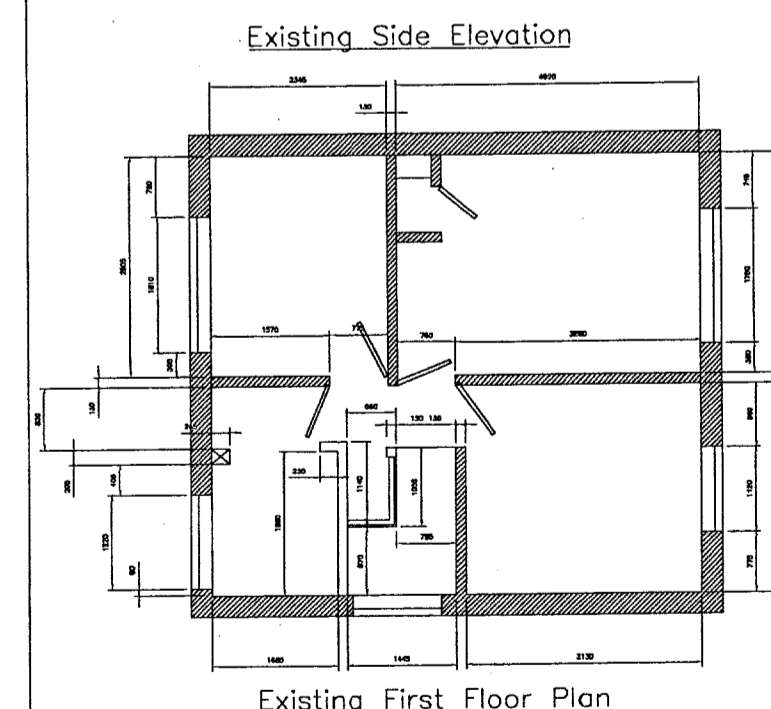
Existing window to be blocked off and new window to be created above Code 4 lead flashing

2No Velux S06 1140mmx1180mm

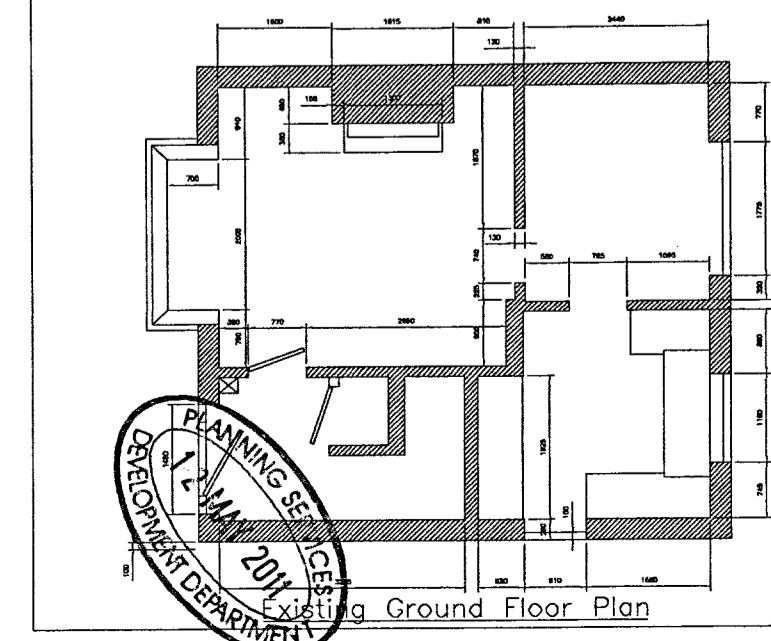
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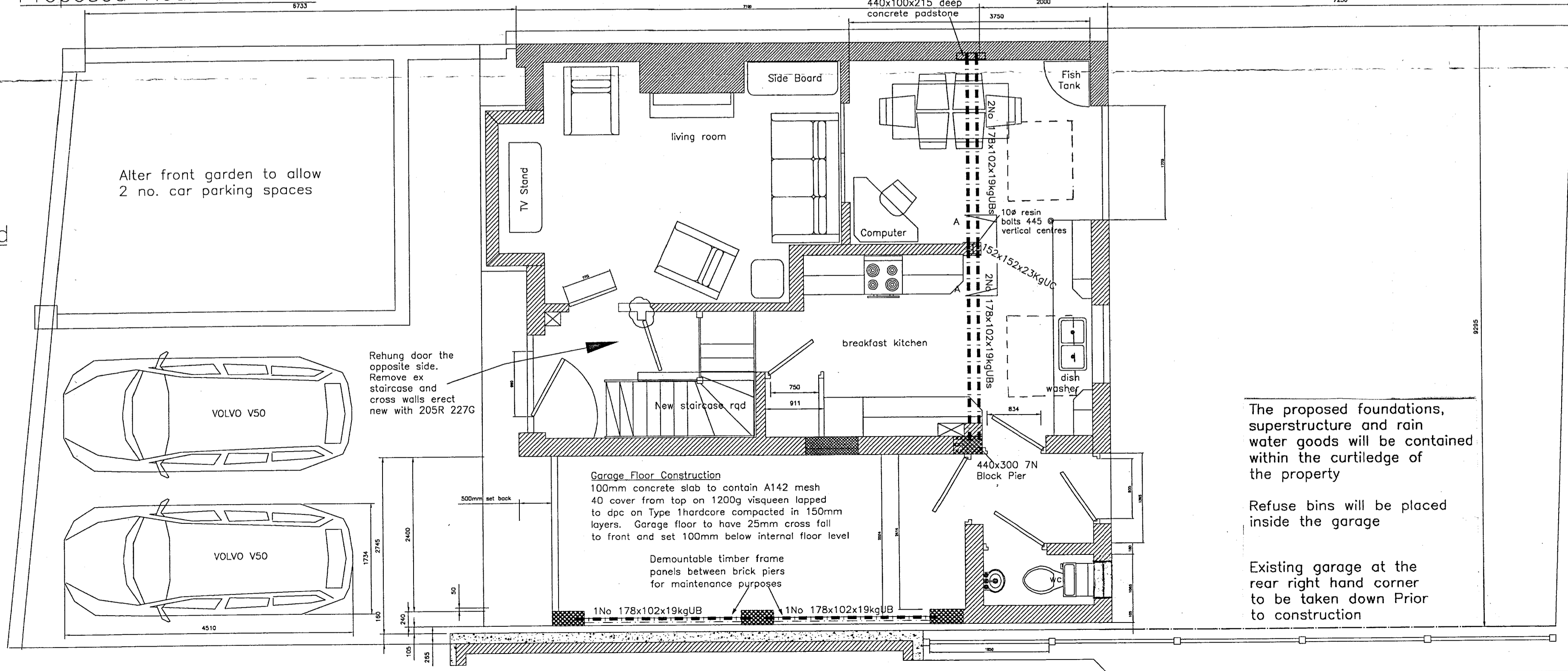
Section A-A



Existing First Floor Plan



Proposed Ground Floor Plan



The proposed foundations, superstructure and rain water goods will be contained within the curtilage of the property

Refuse bins will be placed inside the garage

Existing garage at the rear right hand corner to be taken down Prior to construction

B	Frontage to extension	8/05/11
A	Car Parking Added	8/11/10
REV	DESCRIPTION	DATE

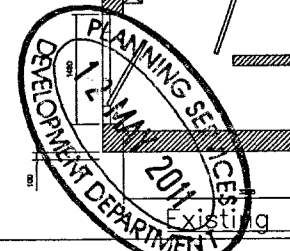
Job Title
51 Pondfields Drive
Kippax
Leeds LS25 7HJ

Drawing Title
Proposed Single
Storey Side &
Rear Extension

Mr P Babington

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Checked	Date	Scale	Drawn
	06/10	1:100; 50: 10	GMC
Drawing No		100632	B





EAST PLANS PANEL