

Leeds City Council - Education Leeds
ASSET MANAGEMENT PLAN
PROPERTY CONDITION SURVEY

Establishment reference : 0001

UPRN : 0001

West Park Centre

Spen Lane, West Park, Leeds, LS16 5BE
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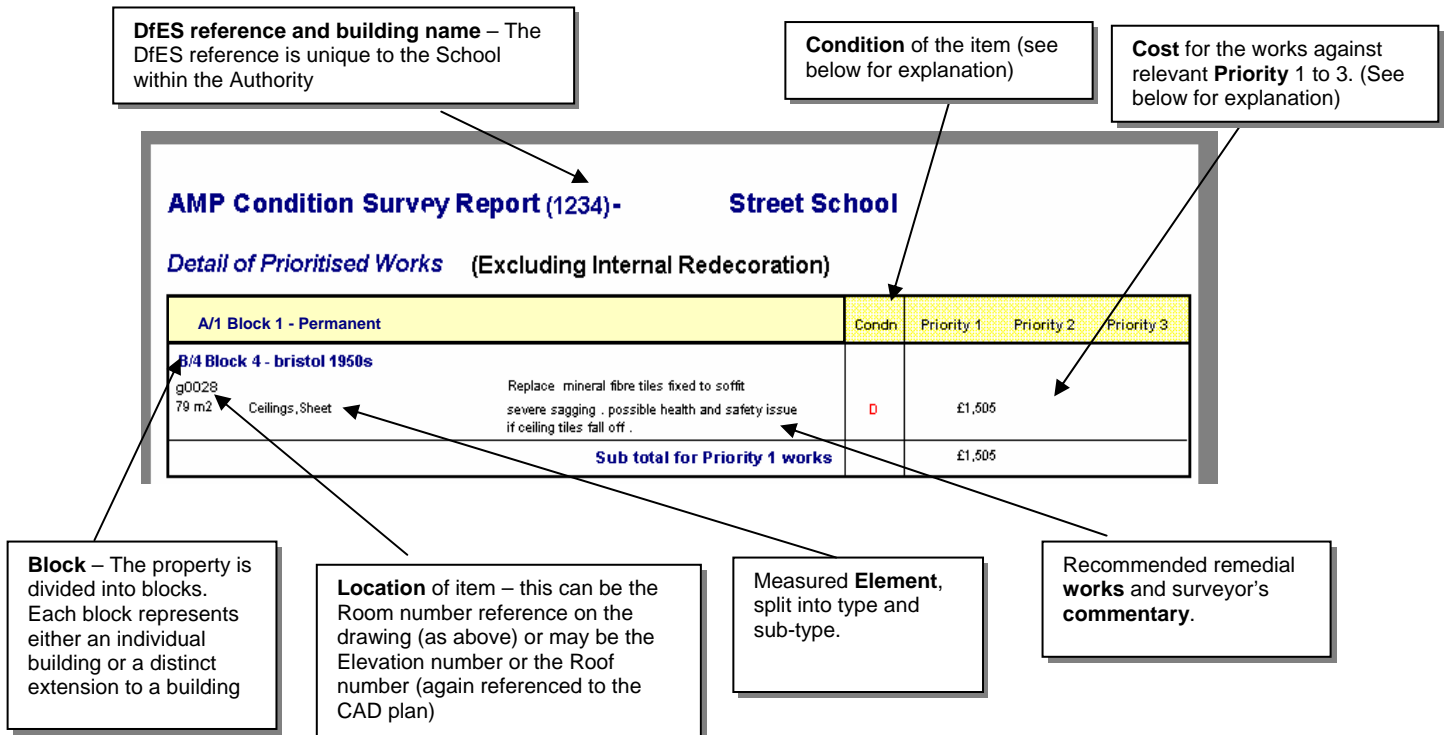
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Asset Management Planning Information

Condition Report – Notes of Guidance

The Executive Summary Report for Condition is split into 5 sections:

- **Summary page** – Including general details, surveyor's summary comments and a breakdown of the blocks on site
- **Cost breakdown** – Displaying the breakdown of prioritised cost against the DfES element **for the whole site**.
- **Block cost breakdown** – Displaying the breakdown of prioritised cost against the DfES element **for each block on site**.
- **Detail of prioritised works**– Displaying cost and prioritisation for each item of work identified on the survey. This is not the full survey but represents a reduced version showing all priority items **excluding painting works**.
- **Summary of redecoration works**– Displaying cost and prioritisation for redecoration works summarised against element and block.



PRIORITY GRADING GUIDANCE NOTES -Condition Gradings

Each element on the survey is allocated a condition grading as set out by the DfES as follows:

• Grade A	Good	Performing as intended and operating efficiently
• Grade B	Satisfactory	Performing as intended but exhibiting minor deterioration
• Grade C	Poor	Exhibiting major defects and/or not operating as intended
• Grade D	Bad	Life expired and/or serious risk of imminent failure

Priority Gradings (in the context of five year planning period)

Each item is allocated a priority rating 1-3.

• Priority 1	Urgent	Work that will prevent closure of the premises and/or address immediate high risk to health and safety of the occupants and/or remedy a serious breach of legislation.
• Priority 2	Essential	Work required within 2 years that will prevent serious deterioration of the fabric or services and/or address a medium risk to the health and safety of the occupants and/or remedy a less serious breach of legislation
• Priority 3	Desirable	Work required within 3 to 5 years.

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Spenn Lane, West Park, Leeds, LS16 5BE

Premise GFA (m2) 7,195
Date of survey 28/09/2009 **Construction year** 1951



Executive Summary

Block 01- A predominately two storey building constructed 1951 of brick external walls incorporating single glazed painted steel framed windows and timber doors under flat asphalt covered roofs. Areas of the external walls are clad with concrete panels and replacement PVC cladding has been installed to some elevations. A section of the building was damaged by fire in 2001 and that area was subsequently refurbished.
Survey overall condition **B**

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Building Summary:

Roofs:

The flat asphalt roof coverings are currently in satisfactory condition. However there are areas of ongoing patch repairs and evidence of minor water ingress internally therefore renewal of the roof coverings is envisaged being required within the next three to five years. Due to the extensive area of the flat roofs, the implementation of a rolling roof replacement programme is recommended to distribute the major expenditure of renewing the roof coverings.

Floors & Stairs:

The majority of the floor finishes within the building are in satisfactory condition and appear well maintained.

Ceilings:

The majority of the ceiling finishes are in satisfactory condition. Isolated areas of the plaster finished ceilings require repairs where water ingress from roof leaks have damaged the internal finishes.

External Walls, Windows & Doors:

A visual inspection of the external walls identified stepped fractures indicating structural movement in elevations 18 and 41. Prior to remedial works being implemented the fractures require further structural investigations to determine if the movement is progressive or historic. The cost of further structural investigations has not been included in the report. Elevation 10A also has stepped fractures in the stonework originating above the external door. The stepped fractures are attributed to deflection of the steel lintel above the door. The single glazed steel framed windows are approximately 58 years old and approaching the end of their design life. The steel frames are generally deteriorating and the single glazing provides poor thermal properties. Due to the age, condition and cost of redecoration works the windows are recommended for renewal / upgrading. The external doors are generally in satisfactory condition. However the steel framed external doors are recommended for renewal / upgrade during the window replacement.

Internal Walls, Windows & Doors:

The internal walls are generally in satisfactory condition. Isolated repairs are required where impact damage has occurred. The internal doors are generally in satisfactory condition.

Sanitary Services:

The majority of the sanitary accommodation is original and approximately 58 years old. The toilet areas are therefore recommended for a full refurbishment within the next three years to upgrade the aging facilities.

Redecorations:

The internal decorations are generally in satisfactory condition and appear well maintained.

Fixed furniture & Fittings:

The fixed furniture and fittings provided within the buildings are generally in satisfactory condition.

External Areas:

The tarmac surfaced car park, access roads and pathways are generally in satisfactory condition. Isolated areas of the tarmac footpaths are uneven and pose potential trip hazards that require immediate attention. The areas of soft landscaping are generally well maintained. The interior of the building is susceptible to flooding in Rooms G/102 - G/104 due to the drains backing up and over flowing. Camera surveys have identified collapsed sections of the pipework in this area and an upgrade of the existing drainage is therefore recommended.

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MECHANICAL SURVEY REPORT

General comments

Inspection and Testing - Although gas servicing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that all gas-services and appliances are checked and serviced to ensure they are safe to use. It is also recommended that tests are carried out to ensure that the Kitchen extraction system complies with gas safety regulations.

Legionella - A legionella risk assessment has been carried out and a maintenance procedure was in place with regular monthly checks, however monthly checks are no longer carried out. It is recommended that all water services are continually inspected to check compliance with ACOP L8.
The drinks fountains in G/103 and G/067 should be removed.

Energy Efficiency - The present heating system installed throughout the building is not "energy-efficient" due to large-bore pipework and cast iron radiators with no thermostatic control. This would be remedied when replacement takes place.

Following asbestos removal, heating pipework and the calorifier in the boiler room are not insulated; it is recommended these are insulated ASAP to avoid excessive heat loss.

It is recommended that an energy-audit is carried out to identify any areas where additional energy-efficiency measures can be introduced.

Block 1 Main Building

General Installation - With the exception of the boiler house plant most of the installation is approximately 58 years old and in poor condition.

Space Heating - The heating system comprises 3 no gas-fired boilers, steel pipework and a mix of fan convectors, natural convectors, cast-iron and steel panel radiators. It is recommended that all original pipework and heat emitters be replaced within 1-2 years.

The 2no older boilers may need replacing within 2-3 years.

Control to the heating system is "energy-efficient" and is in satisfactory condition.

The pipework and calorifier are not insulated following asbestos removal.

The boiler has no fire-protection and the gas supply to the boiler has no automatic isolation, it is recommended that these be installed

Domestic Hot Water - Domestic hot water is provided by a gas-fired boiler and calorifier with copper distribution pipework. All visible services appear satisfactory.

It is recommended that the boiler and old copper pipework be replaced within 2-3 years

Cold Water System - There are no easily-accessible water storage tanks, therefore condition cannot be assessed.

Distribution is via copper pipework. All visible services appear satisfactory.

It is recommended that old copper pipework be replaced within 2-3 years and the drinks fountains in G/103 and G/067 be removed.

Extractor Fans - Extractor fans are installed in some toilet areas and are in a satisfactory condition. The extractor fans installed in the stage area are very old and should be replaced if still needed.

Kitchen Canopy - The kitchen has been de-commissioned and the canopy has been removed.

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ELECTRICAL SURVEY REPORT

General comments

Electrical Testing - Although testing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that a full electrical inspection and test to BS7671 is carried out throughout all blocks and any remedial work completed, to ensure the installations are safe to use (see note in "Wiring").

Lift Inspection - Although testing may have been carried out, records were not available to view at the time of survey. It is therefore recommended that Lifts are tested and inspected to BS 5655.

Health and Safety - It is recommended that LG3-compliant luminaires are installed adjacent all VDUs to comply with Health and Safety Legislation.

If ball sports take place in the hall it is recommended that vandal-resistant luminaires are installed to prevent damage and possible injury.

Block 1 Main Building

General Installation - The electrical installation is mostly original, approximately 58 years old and in poor condition and may constitute a fire risk.

Wiring - Wiring systems comprise PVC in conduit, PVC/PVC and possibly VIR with PVC/SWA and Paper-Lead sub-mains cables. The original wiring may comprise VIR which constitutes a fire risk. It is recommended that the wiring be replaced within the year and if not the installation must be tested to verify its safety.

Luminaires - Luminaires are fluorescent and tungsten throughout the building. Many luminaires have exceeded their expected life and it is anticipated that these will fail in the very near future. It is recommended that they be replaced.

Main Switchgear - The main incoming switchgear and distribution panel, located in room B/251 is original and in poor condition. The cable trench below the main switch is full of water, this should be fitted with a submersible pump and the trench kept dry.

Sub-Distribution Boards - Sub-distribution boards have MCB protection and are in a satisfactory condition. The original ones have rewirable carriers and are in poor condition. It is recommended that they be replaced when the installation is rewired.

Fire Alarm System - A mains-only manual fire alarm system, wired in fire-resistant MI cable, is installed. It is in poor condition and does not comply with British Standards; it is recommended that this be replaced with a system complying with BS 5839.

Emergency Lighting System - A very old central battery emergency lighting system, wired in fire-resistant MI cable, is installed throughout the building. It is in poor condition and does not comply with British Standards; it is recommended that this be replaced with a system complying with BS 5266.

Security System - A security system is installed that comprises CCTV cameras and a PIR system throughout the building, the system is in a satisfactory condition.

ICT Network Cabling - Cat 5 ICT cabling has been installed in classroom and office areas and is in satisfactory condition.

Lightning Protection - A copper lightning conductor is installed to the boiler flue stack and appears to be in a satisfactory condition although it is recommended that this be tested in accordance with British Standards. It is also recommended that a risk assessment is carried out to the rest of the building and a system installed if necessary.

Stage Lighting - Portable stage lighting is installed to the balcony G/127 and is in satisfactory condition.

Lift - A hydraulic chair lift is installed and is in satisfactory condition. It is not known when the lift was last inspected.

Electric Space Heating - Space heating in the first floor halls is provided by quartz electric heaters and these are in a satisfactory condition.

Energy Efficiency - First floor halls are presently lit by 300 Watt tungsten lamps, these should be replaced with

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fluorescent luminaires to give a significant reduction in energy use.

Building and Block Area Details

The chart below displays the breakdown of blocks making up the site. Each block reference is used to group room data and condition information. The referencing is split into 2 parts eg 01/02, where the first part (01) is the building reference and the second part (02) is the block reference within the building.

Block Reference/ Name	Construction Type	GFA (m2)	Construction Year
01/01 Block 1 Main Building	Permanent	7,195	1951
02/02 Grounds Hardstandings	External Areas	10,000	1951

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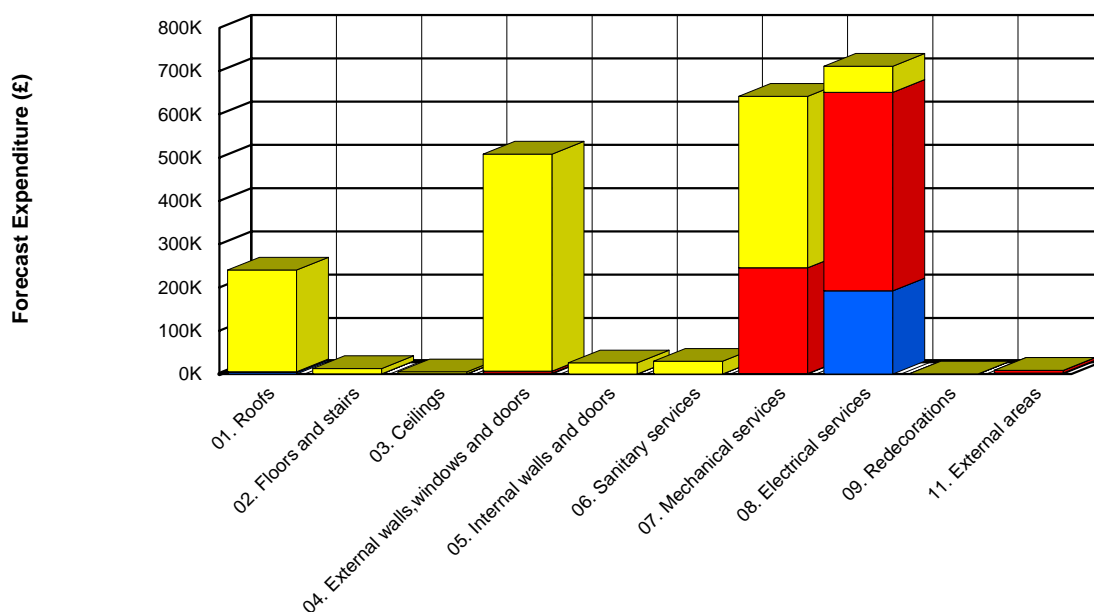
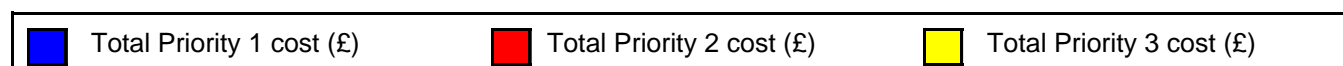
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Cost Summary by Element

The chart below displays the total forecast expenditure need for the **whole** property based on the condition survey. Each cost is summarised against the standard element description as defined by the DFES. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required (where 1 is the most urgent).

Element	Priority 1	Priority 2	Priority 3	Total
01. Roofs	£3,778	£1,356	£235,052	£240,186
02. Floors and stairs	£363		£12,311	£12,674
03. Ceilings		£529	£4,487	£5,016
04. External walls, windows and doors	£1,770	£4,871	£501,534	£508,175
05. Internal walls and doors		£81	£25,677	£25,757
06. Sanitary services			£29,423	£29,423
07. Mechanical services	£1,033	£244,386	£396,269	£641,688
08. Electrical services	£192,108	£458,802	£60,219	£711,129
09. Redecorations			£218	£218
11. External areas	£2,181	£6,430		£8,610
Grand total	£201,233	£716,453	£1,265,191	£2,182,876

Cost Summary Chart



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Summary of Total Cost by Block

The chart below displays the total forecast expenditure for **each block** within the property. Each cost is summarised against the standard element description as defined by the DFES. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required.

01/01 Block 1 Main Building - Permanent, 7,195m2	Priority 1	Priority 2	Priority 3	Total
01. Roofs	£3,778	£1,356	£235,052	£240,186
02. Floors and stairs	£363		£12,311	£12,674
03. Ceilings		£529	£4,487	£5,016
04. External walls, windows and doors	£1,770	£4,871	£501,534	£508,175
05. Internal walls and doors		£81	£25,677	£25,757
06. Sanitary services			£29,423	£29,423
07. Mechanical services	£1,033	£244,386	£396,269	£641,688
08. Electrical services	£192,108	£458,802	£59,884	£710,794
09. Redecorations			£218	£218
Sub total for 01/01 Block 1 Main Building - Permanent, 7,195m2	£199,052	£710,023	£1,264,856	£2,173,931

02/02 Grounds Hardstandings - External Areas, 10,000m2	Priority 1	Priority 2	Priority 3	Total
08. Electrical services			£335	£335
11. External areas	£2,181	£6,430		£8,610
Sub total for 02/02 Grounds Hardstandings - External Areas, 10,000m2	£2,181	£6,430	£335	£8,945

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
B/250-254-Circulation				
8. Electrical services				
232 m2 Misc Power & Socket Wiring,General	Refer to summary report	C	£2,017	
232 m2 Luminaires Wiring,VIR,Flush/Surface	Refer to summary report	C	£4,236	
B/251-Plant				
8. Electrical services				
1 nr Sub Main Cables,PVC/Conduit,Per board	Refer to summary report	C	£797	
1 nr Main Switch & Distr. Panel,Cubicle,3 ph	Refer to summary report	C	£2,738	
1 nr Sub Distribution Boards,HRC,3 ph large building	Refer to summary report	C	£3,651	
B/252-Caretaker Store				
8. Electrical services				
1 nr Sub Main Cables,PVC/Conduit,Per board	Refer to summary report	C	£797	
1 nr Sub Distribution Boards,Rewirable,3 ph large building	Refer to summary report	C	£3,651	
B/253-Boilerhouse				
7. Mechanical services				
1 nr Pumps,Sec HWS	Not working	C	£274	
Elevation 10A				
4. External walls, windows and doors				
4 m2 Walls (external),Stone	stepped fracture / lintel deflection	D	£1,515	
2 ml Windows,Concrete,Lintel	lintel deflection / stepped fracture over door	D	£256	
Elevation 32				
1. Roofs				
0 m2 Soffit,Sheet,Wood	sections of soffit not secure / hanging loose	B	£316	
Elevation 36				
2. Floors and stairs				
1 nr Steps,Repair,Concrete Steps	impact damage to step on escape stairs	D	£39	
G/054-101/207-249-Circulation				
8. Electrical services				
2,350 Misc Power & Socket Wiring,General	Refer to summary report	C	£20,430	
2,350 Luminaires Wiring,VIR,Flush/Surface	Refer to summary report	C	£42,903	
G/063-Circulation				
8. Electrical services				
2 nr Sub Distribution Boards,Rewirable,1 ph large building	Refer to summary report	C	£5,477	
G/067-Pupil Toilets				
7. Mechanical services				
1 m2 Maintenance,Mechanical,maintenanc e large building	Remove water fountain	C	£380	
G/077-Teaching Storage				
8. Electrical services				
2 m2 Sub Main Cables,Paper Lead	Refer to summary report	C	£73	
2 nr Sub Distribution Boards,Rewirable,3 ph large building	Refer to summary report	C	£7,303	
G/083-Office				
2. Floors and stairs				

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The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
G/083-Office				
2. Floors and stairs				
4 m2 Floors (finishes),Repair,Wood block potential trip hazard / loose blocks	D	£324		
G/103-Pupil Toilets				
7. Mechanical services				
1 m2 Maintenance,Mechanical,maintenanc Remove water fountain e large building	C	£380		
G/115-Staff Workroom				
8. Electrical services				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
G/122-Staff Workroom				
8. Electrical services				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
G/128-Teaching Storage				
8. Electrical services				
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
G/134-170/184-205-Office				
8. Electrical services				
1,570 Misc Power & Socket Wiring,General Refer to summary report	C	£13,649		
1,570 Luminaires Wiring,VIR,Flush/Surface Refer to summary report	C	£28,663		
G/158-Office				
8. Electrical services				
2 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£7,303		
1 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£2,738		
2 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£73		
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
G/169-Circulation				
8. Electrical services				
1 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£3,651		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
G/202-Teaching Storage				
8. Electrical services				
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
2 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£73		
3 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£8,215		
G/222-Caretaker Store				
8. Electrical services				
3 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	C	£8,215		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
2 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£1,594		
G/228-Caretaker Store				
8. Electrical services				

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 1 / Urgent works required	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
G/228-Caretaker Store				
8. Electrical services				
1 m2 maintenance,electrical,maintenance Remove redundant battery cells large building	C	£190		
1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report	C	£797		
1 nr Sub Distribution Boards,Rewirable,3 ph large building Refer to summary report	C	£3,651		
1 m2 Sub Main Cables,Paper Lead Refer to summary report	C	£37		
M/001-4 +1/005-12-Balcony				
8. Electrical services				
646 m2 Misc Power & Socket Wiring,General Refer to summary report	C	£5,616		
646 m2 Luminaires Wiring,VIR,Flush/Surface Refer to summary report	C	£11,794		
Roof 01				
1. Roofs				
10 m2 Soffit,Concrete spalled concrete	D	£2,283		
Roof 04A				
1. Roofs				
20 m2 Roofs,Profile Sheet,Steel holes in roof deck & missing sections of felt covering	D	£1,179		
02/02 Grounds Hardstandings - External Areas				
Elevation 36				
11. External areas				
10 m2 Hardstandings/Pavements,Tarmac potential trip hazard / tree roots	D	£514		
Elevation 46				
11. External areas				
2 Nr Drainage,Drainage,General drains backing up -see executive summary	D	£1,666		
Sub total for Priority 1 / Urgent works required		£201,233		

Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
1/005/12/14/27-Circulation				
8. Electrical services				
128 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£5,842	
1/007/9-Hall				
8. Electrical services				
542 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£24,738	
1/018/41/44/50/52-Circulation				
7. Mechanical services				
227 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£3,985	
1/040-Circulation				

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
1/040-Circulation				
7. Mechanical services				
39 m2 Heat Emitters,Nat convector,general	Refer to summary report	C	£890	
All				
7. Mechanical services				
7,256 Distribution Pipework,Heating,Steel large building	Refer to summary report	C	£198,836	
8. Electrical services				
7,256 Fire Alarm Access'ies & Ctrl,Mains Only,Stand alone	Refer to summary report	C	£88,313	
7,256 Emergency Wiring,Fire Resistant,MICC	Rewire when replacing system	C	£79,482	
7,256 Emergency Luminaires/Control,Dedicated,Central Battery	Refer to summary report	C	£99,289	
7,256 Fire Alarm Wiring,Fire Resistant,MICC	Renew when replacing system	C	£66,235	
B/251/254-Plant				
8. Electrical services				
80 m2 Luminaires,Tungsten,Surface	Refer to summary report	C	£3,651	
B/253-Boilerhouse				
7. Mechanical services				
1 m2 Maintenance,Mechanical,maintenanc e large building	Insulate all pipework/calorifier	D	£3,795	
1 nr Pumps,Primary HWS,large building	Approaching end of life	B	£1,229	
Elevation 17				
4. External walls,windows and doors				
2 m2 Doors (external),Wood	plywood facing panel delaminating from door	C	£481	
8. Electrical services				
1 nr Luminaires,Tungsten,Surface	Damaged	C	£362	
Elevation 18				
4. External walls,windows and doors				
0 m2 Walls (external),Brick,Fair faced	stepped fracture- see executive summary	B	£316	
Elevation 24				
4. External walls,windows and doors				
10 m2 Walls (external),Clad,UPVC	impact damage	C	£701	
Elevation 36				
4. External walls,windows and doors				
2 m2 Doors (external),Wood	plywood facing panel delaminating from door	C	£481	
8. Electrical services				
1 nr Luminaires,Tungsten,Surface	Damaged	C	£362	
Elevation 37				
1. Roofs				
28 Lin Fascia,Fascia,Softwood	timber decay	C	£491	
28 m2 Soffit,Sheet,Wood	sections of soffit not secure / hanging loose	C	£865	
4. External walls,windows and doors				
6 m2 Walls (external),Clad,UPVC	impact damage	C	£420	
Elevation 41				
4. External walls,windows and doors				
32 m2 Walls (external),Clad,UPVC	impact damage	C	£2,156	

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent Elevation 41 4. External walls,windows and doors 0 m2 Walls (external),Brick,Fair faced stepped fracture- see executive summary	B		£316	
Elevation 42 8. Electrical services 1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
Elevation 46 8. Electrical services 7 nr Luminaires,Fluorescent,Surface Approaching end of life	B		£2,438	
Elevation 5 8. Electrical services 1 nr Luminaires,Tungsten,Surface Damaged	C		£362	
G/057/58/70/77/78-Teaching Storage 8. Electrical services 70 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£3,195	
G/057/60-69/100/102-Teaching Storage 7. Mechanical services 420 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£7,373	
G/059-Staff Showers 7. Mechanical services 1 nr HWS Mixing Valves,General Approaching end of life	B		£125	
8. Electrical services 8 m2 Luminaires,Fluorescent,Surface Refer to summary report	B		£351	
G/072-76/83/85-90-Circulation 8. Electrical services 439 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£20,037	
G/107/109/123/127-Registration Classbase 8. Electrical services 202 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£9,220	
G/115-Staff Workroom 3. Ceilings 1 m2 Ceilings,Sheet,Mineral Fibre damaged section	C		£51	
G/119/132-134/144-Circulation 7. Mechanical services 243 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£4,266	
G/129/138/145/147-Teaching Storage 8. Electrical services 220 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£10,041	
G/148/157/164/185-Teaching Storage 8. Electrical services 214 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£9,767	
G/149/151/152/155-Circulation 7. Mechanical services 117 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£2,054	

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A-Good**, **B-Satisfactory**, **C-Poor** and **D-Bad/Urgent**. Painting costs are excluded and are available in summary within the final section of this report.

Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent G/156/160/161/188-Registration Classbase 8. Electrical services 189 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£8,626	
G/159-Teaching Storage 3. Ceilings 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
5. Internal walls and doors 2 m2 Walls (internal),Repair,Plaster impact damage	C		£81	
G/165/166/168/169-Circulation 7. Mechanical services 28 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£492	
G/185-Kitchen 7. Mechanical services 193 m2 Heat Emitters,Fan convector,general Refer to summary report	C		£4,404	
G/186/189/191-Store 8. Electrical services 33 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£1,506	
G/192/200/204/214-Store 8. Electrical services 153 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£6,983	
G/193-195/205/208-Staff toilet 8. Electrical services 111 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£5,066	
G/196-199/201/206-Access Toilet 7. Mechanical services 294 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£5,161	
G/207/208/212-Stage Area 7. Mechanical services 200 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£3,511	
G/208-Stage Area 7. Mechanical services 2 nr Extractor Fans,General,Large unit Refer to summary report	C		£1,565	
G/210-212/215/227-Caretaker Store 8. Electrical services 35 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£1,597	
G/214-Teaching Storage 3. Ceilings 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
G/214/219-222-Teaching Storage 7. Mechanical services 56 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£983	
G/215-Office 3. Ceilings 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	

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Detail of Prioritised Works (Excluding Redecorations)

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Priority 2 / Works required within 2 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent G/218/219/222-Teaching Storage 8. Electrical services 38 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£1,734	
G/222-Caretaker Store 8. Electrical services 1 nr Sub Main Cables,PVC/Conduit,Per board Refer to summary report 1 nr Sub Distribution Boards,Rewirable,1 ph large building Refer to summary report	B B		£766 £2,633	
G/224/225/230/232-Office 8. Electrical services 116 m2 Luminaires,Fluorescent,Surface Refer to summary report	C		£5,294	
G/224/225/232/233-Office 7. Mechanical services 118 m2 Heat Emitters,Nat convector,general Refer to summary report	C		£2,693	
G/227-Staff Toilets 3. Ceilings 3 ml Ceilings,Repair,Plaster cracks water ingress damage	C		£26	
G/228/229/238-Caretaker Store 8. Electrical services 12 m2 Luminaires,Tungsten,Surface Refer to summary report	C		£548	
G/237/240-242/244-Office 7. Mechanical services 101 m2 Heat Emitters,Nat convector,general Refer to summary report	C		£2,305	
G/244-Office 3. Ceilings 3 m2 Ceilings,Repair,Plasterboard ceiling water ingress damage	C		£113	
M/001/2-Balcony 7. Mechanical services 41 m2 Heat Emitters,Radiators,Cast Iron Refer to summary report	C		£720	
02/02 Grounds Hardstandings - External Areas Elevation 20 11. External areas 50 m2 Hardstandings/Pavements,Tarmac poor underfoot conditions / wearing course deteriorating	C		£2,572	
Elevation 37 11. External areas 30 m2 Hardstandings/Pavements,Tarmac potential trip hazard / cracked & uneven surface	C		£1,543	
Elevation 42 11. External areas 45 m2 Hardstandings/Pavements,Tarmac poor underfoot conditions / wearing course deteriorating	C		£2,315	
Sub total for Priority 2 / Works required within 2 years			£716,453	

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
1/008/10/41/52-Teaching Storage				
8. Electrical services				
64 m2 Luminaires,Tungsten,Surface	Refer to summary report	B		£2,497
1/014/16/19-21/24-Office				
7. Mechanical services				
302 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£6,627
1/027/29/37/39-Office				
7. Mechanical services				
217 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£4,762
1/041-Staff Toilets				
2. Floors and stairs				
23 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£2,140
3. Ceilings				
18 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£850
5. Internal walls and doors				
10 m2 Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B		£930
5 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£3,397
6. Sanitary services				
5 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£1,519
4 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,893
1/052-Office Store				
2. Floors and stairs				
18 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,675
3. Ceilings				
18 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£850
5. Internal walls and doors				
10 m2 Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B		£930
6 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£4,076
6. Sanitary services				
6 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£1,823
4 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,893
All				
7. Mechanical services				
7,256 Distribution Pipework,HWS,Copper large building	Refer to summary report	B		£48,990
7,256 Distribution Pipework,CWS,Copper large building	Refer to summary report	B		£48,990
B/253-Boilerhouse				
7. Mechanical services				
3 nr Freestanding Flues,Steel,medium unit	Renew when replacing boilers	B		£17,723
7,256 Water heaters,Central,Gas	Boiler for hot water-refer to summary report	B		£61,238
2,418 Burners,Gas,Large building	Renew when replacing boilers	B		£816
2,418 Heat source,Gas fired,Cast iron	Refer to summary report	B		£81,628
2,418 Burners,Gas,Large building	Renew when replacing boilers	B		£816
2,418 Heat source,Gas fired,Cast iron	Refer to summary report	B		£81,628

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Detail of Prioritised Works (Excluding Redecorations)

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
Boiler flue stack				
8. Electrical services				
1 nr	Lightening Protection,Copper,Full large building	Refer to summary report	B	£50,638
Elevation 01				
4. External walls, windows and doors				
4 m2	Walls (external),Curtain Walling,Composite	timber framed curtain walling incorporating single glazed windows- upgrade recommended	B	£1,849
8 m2	Doors (external),Wood	renewal / upgrade recommended	B	£2,465
Elevation 02				
4. External walls, windows and doors				
21 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£5,018
Elevation 02A				
4. External walls, windows and doors				
84 m2	Walls (external),Curtain Walling,Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B	£38,822
5 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£1,195
Elevation 06				
4. External walls, windows and doors				
8 m2	Doors (external),Steel	renewal / upgrade recommended	B	£2,501
33 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£7,886
Elevation 09				
4. External walls, windows and doors				
24 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£5,735
Elevation 09A				
4. External walls, windows and doors				
84 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£20,074
Elevation 12				
4. External walls, windows and doors				
20 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£4,779
13 m2	Walls (external),Curtain Walling,Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B	£6,008
2 m2	Doors (external),Steel	renewal / upgrade recommended	B	£625
Elevation 13				
4. External walls, windows and doors				
13 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£3,107
Elevation 15				
4. External walls, windows and doors				
5 m2	Windows,Steel	renewal / upgrade recommended -see executive summary	B	£1,195
Elevation 19				
4. External walls, windows and doors				

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Detail of Prioritised Works (Excluding Redecorations)

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
Elevation 19				
4. External walls,windows and doors 18 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,301
Elevation 20				
4. External walls,windows and doors 30 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£7,169
Elevation 22				
4. External walls,windows and doors 2 m2 Doors (external),Steel renewal / upgrade recommended	B			£625
18 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,301
Elevation 23				
4. External walls,windows and doors 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
Elevation 24				
4. External walls,windows and doors 20 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,779
Elevation 25				
4. External walls,windows and doors 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
Elevation 27				
4. External walls,windows and doors 202 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£48,272
Elevation 29				
4. External walls,windows and doors 36 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£8,603
Elevation 32				
4. External walls,windows and doors 234 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£55,919
Elevation 34				
4. External walls,windows and doors 15 m2 Walls (external),Curtain Walling,Composite steel framed curtain walling incorporating single glazed windows- upgrade recommended	B			£6,933
Elevation 34A				
4. External walls,windows and doors 6 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£1,434
Elevation 35				
4. External walls,windows and doors 17 m2 Windows,Steel renewal / upgrade recommended -see executive summary	B			£4,063
Elevation 37				

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Detail of Prioritised Works (Excluding Redecorations)

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
Elevation 37				
4. External walls, windows and doors 117 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£27,960
Elevation 39				
4. External walls, windows and doors 18 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£4,301
Elevation 41				
4. External walls, windows and doors 71 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£16,967
Elevation 43				
4. External walls, windows and doors 126 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£30,110
Elevation 46				
4. External walls, windows and doors 96 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£22,941
12 m2 Doors (external), Steel	renewal / upgrade recommended	B		£3,751
Elevation 48				
4. External walls, windows and doors 20 m2 Walls (external), Curtain Walling, Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B		£9,243
Elevation 49				
4. External walls, windows and doors 30 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£7,169
Elevation 51				
4. External walls, windows and doors 20 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£4,779
Elevation 51A				
4. External walls, windows and doors 4 m2 Doors (external), Steel	renewal / upgrade recommended	B		£1,250
90 m2 Walls (external), Curtain Walling, Composite	steel framed curtain walling incorporating single glazed windows- upgrade recommended	B		£41,595
Elevation 52				
4. External walls, windows and doors 108 m2 Walls (external), Panel, Concrete	general deterioration / upgrade recommended	C		£15,723
108 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£25,809
Elevation 53				
4. External walls, windows and doors 54 m2 Walls (external), Panel, Concrete	general deterioration / upgrade recommended	C		£7,861
132 m2 Windows, Steel	renewal / upgrade recommended -see executive summary	B		£31,544

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Priority 3 / Works required within 3-5 years	Cond'n	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
G/059-Staff Showers				
2. Floors and stairs				
9 m2 Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£369
6. Sanitary services				
1 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£304
1 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£473
1 Nr Sanitary Fittings,shower,Ceramic/glass	toilet refurbishment recommended	B		£658
G/060-Pupil Toilets				
2. Floors and stairs				
17 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,582
5. Internal walls and doors				
2 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£1,359
6. Sanitary services				
3 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,420
2 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£608
G/062-Pupil Showers				
7. Mechanical services				
1 nr HWS Mixing Valves,General	Approaching end of life	B		£121
G/066-Pupil Showers				
7. Mechanical services				
1 nr HWS Mixing Valves,General	Approaching end of life	B		£121
G/067-Pupil Toilets				
2. Floors and stairs				
17 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,582
5. Internal walls and doors				
2 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£1,359
6. Sanitary services				
3 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,420
2 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£608
G/068-Staff Showers				
2. Floors and stairs				
9 m2 Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£369
6. Sanitary services				
1 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£473
1 Nr Sanitary Fittings,shower,Ceramic/glass	toilet refurbishment recommended	B		£658
1 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£304
G/076/83/85/88/107-Registration Classbase				
7. Mechanical services				
396 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£8,689
G/079-82/100/103-Caretaker Store				
8. Electrical services				
125 m2 Luminaires,Tungsten,Surface	Refer to summary report	B		£4,877
G/103-Pupil Toilets				

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Detail of Prioritised Works (Excluding Redecorations)

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
G/103-Pupil Toilets				
2. Floors and stairs				
29 m2 Floors (finishes),Vinyl Tile,Solid Floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,189
3. Ceilings				
29 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£1,370
5. Internal walls and doors				
10 m2 Walls (internal),Ceramic tiles,Masonry	toilet refurbishment recommended	B		£930
8 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£5,435
6. Sanitary services				
7 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£3,313
8 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£2,430
G/105/132/133/197-Caretaker Store				
8. Electrical services				
48 m2 Luminaires,Tungsten,Surface	Refer to summary report	B		£1,873
G/109/114/121/123-Conference Room				
7. Mechanical services				
186 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£4,081
G/127/129/138/139-Music				
7. Mechanical services				
265 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£5,815
G/132-Pupil Toilets				
2. Floors and stairs				
15 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,396
3. Ceilings				
15 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£709
5. Internal walls and doors				
4 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£2,718
6. Sanitary services				
4 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£1,215
3 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,420
G/133-Pupil Toilets				
2. Floors and stairs				
15 m2 Floors (finishes),Ceramic tiles,Solid floor	installation of anti slip sheet vinyl recommended during toilet refurbishment	B		£1,396
3. Ceilings				
15 m2 Ceilings,Sheet,Mineral Fibre	appearance deteriorating - renewal recommended during toilet refurbishment	B		£709
5. Internal walls and doors				
3 nr Walls (internal),WC cubicles,Demountable	toilet refurbishment recommended	B		£2,038
6. Sanitary services				
4 Nr Sanitary Fittings,whb,Ceramic	toilet refurbishment recommended	B		£1,893
3 Nr Sanitary Fittings,WC,Ceramic	toilet refurbishment recommended	B		£911
G/143/145/147/155-Circulation				
7. Mechanical services				
178 m2 Heat Emitters,Fan convector,general	Refer to summary report	B		£3,906

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent G/156/161/162/200-Registration Classbase 7. Mechanical services 333 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£7,307
G/171/178/181/183-Circulation 7. Mechanical services 283 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£6,210
G/204/206/247-249-Registration Classbase 7. Mechanical services 310 m2 Heat Emitters,Fan convector,general Refer to summary report	B			£6,802
G/227-Staff Toilets 2. Floors and stairs 3 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended 6. Sanitary services 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B B B			£123 £304 £473
G/231-Staff Toilets 2. Floors and stairs 3 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended 6. Sanitary services 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B B B			£123 £304 £473
G/235-Staff Toilets 2. Floors and stairs 9 m2 Floors (finishes),Vinyl Tile,Solid Floor installation of anti slip sheet vinyl recommended during toilet refurbishment 5. Internal walls and doors 5 m2 Walls (internal),Ceramic tiles,Masonrytoilet refurbishment recommended 3 nr Walls (internal),WC toilet refurbishment recommended cubicles,Demountable 6. Sanitary services 2 Nr Sanitary Fittings,whb,Ceramic toilet refurbishment recommended 3 Nr Sanitary Fittings,WC,Ceramic toilet refurbishment recommended	B B B B B			£369 £465 £2,038 £946 £911
G/238-Office Store 6. Sanitary services 1 Nr Sanitary Fittings,WC,Ceramic upgrade recommended 1 Nr Sanitary Fittings,whb,Ceramic upgrade recommended	B B			£304 £473
Roof 02 1. Roofs 270 m2 Roofs,Flat covering,Felt/chippings previous patch repairs / renewal envisaged being required within 3-5 years	B			£12,899
Roof 03 1. Roofs 98 m2 Roofs,Flat,Asphalt previous patch repairs / renewal envisaged being required within 3-5 years	B			£7,837
Roof 04 1. Roofs 27 m2 Roofs,Flat,Asphalt previous patch repairs / renewal envisaged being required within 3-5 years	B			£2,159

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Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
Roof 05 1. Roofs 590 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£28,186
Roof 06 1. Roofs 502 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£23,982
Roof 09 1. Roofs 64 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£3,057
Roof 10 1. Roofs 391 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£18,679
Roof 11 1. Roofs 57 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£4,558
Roof 12 1. Roofs 55 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£4,398
Roof 13 1. Roofs 280 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£13,376
Roof 14 1. Roofs 30 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£1,433
Roof 15 1. Roofs 350 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£27,990
Roof 16 1. Roofs 350 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£16,720
Roof 17 1. Roofs 440 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£21,020
Roof 18 1. Roofs 55 m2 Roofs,Flat,Felt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£2,628
Roof 18A 1. Roofs				

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Detail of Prioritised Works (Excluding Redecorations)

The chart below displays the breakdown of forecast cost against each item. The report is group by location/room name within each block. The condition grade against each item is defined as **A**-Good, **B**-Satisfactory, **C**-Poor and **D**-Bad/Urgent. Painting costs are excluded and are available in summary within the final section of this report.

Priority 3 / Works required within 3-5 years	Condn	Priority 1	Priority 2	Priority 3
01/01 Block 1 Main Building - Permanent				
Roof 18A				
1. Roofs 11 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£880
Roof 19				
1. Roofs 205 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£9,793
Roof 20				
1. Roofs 70 m2 Roofs,Flat,Asphalt	previous patch repairs / renewal envisaged being required within 3-5 years	B		£5,598
Roof 21				
1. Roofs 45 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£2,150
Roof 22				
1. Roofs 580 m2 Roofs,Flat covering,Felt/chippings	previous patch repairs / renewal envisaged being required within 3-5 years	B		£27,708
02/02 Grounds Hardstandings - External Areas				
Entrance drive				
8. Electrical services 1 nr Luminaires,Fluorescent,Surface	Column-mounted SOX luminaire-approaching end of life	B		£335
Sub total for Priority 3 / Works required within 3-5 years				£1,264,973

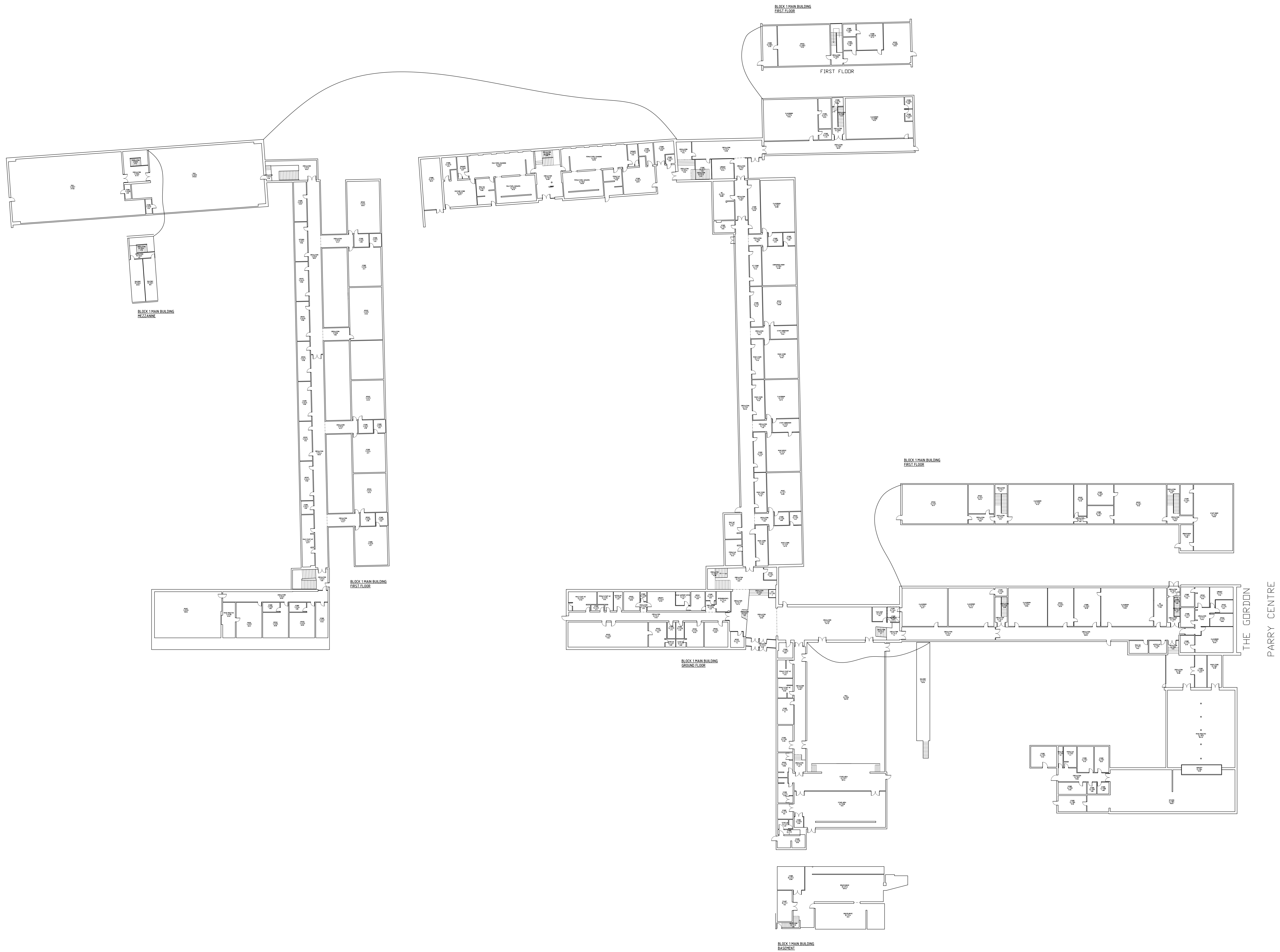
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Summary of Redecoration/Paint Work Required

The chart below displays the total forecast expenditure for **PAINTING ONLY** for each block within the property. Each cost is summarised against element description rather than display each individual item. The costs are subtotalled by priority 1,2 and 3 to indicate the urgency of the work required.

Block / Element	Priority 1	Priority 2	Priority 3	Total
01/01 Block 1 Main Building - Permanent				
9. Redecorations				
Ceilings,Sheet	0.00	0.00	8.20	8.20
Doors (external),Wood	0.00	0.00	106.61	106.61
Roofs,Flat covering	0.00	0.00	103.10	103.10
<i>Sub total for 01/01 Block 1 Main Building - Permanent</i>	0.00	0.00	217.91	217.91
<i>Total for Redecoration/Paint Work Required</i>	0.00	0.00	217.91	217.91

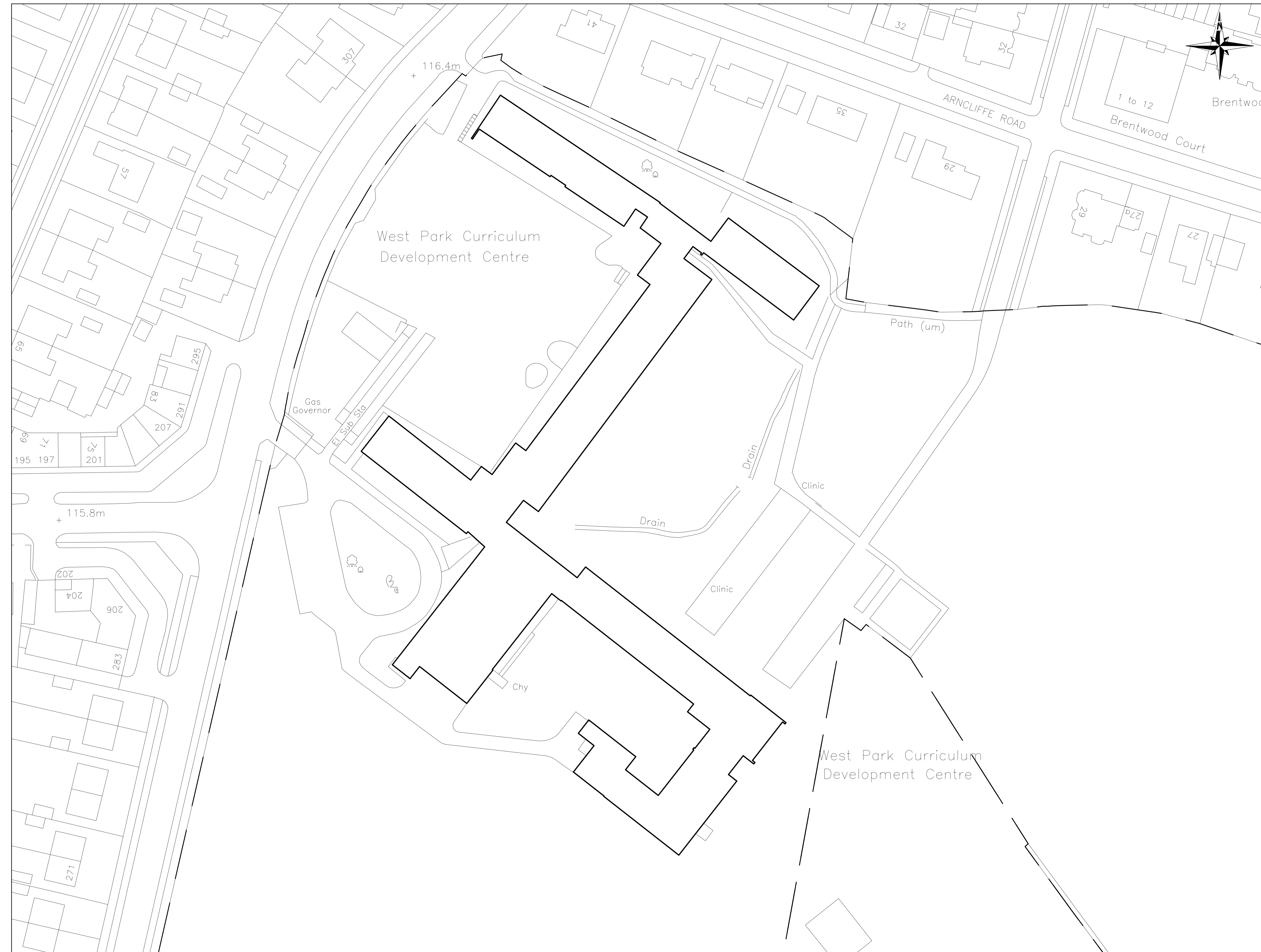
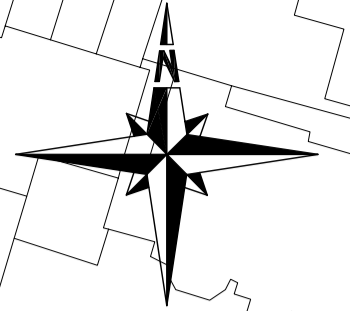


CONDITION SURVEY
This drawing is to be read in conjunction with condition survey dated 28/09/09

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PROJECT :-	
ASSET MANAGEMENT INFORMATION	
SITE LOCATION:-	
WEST PARK	
DRAWING TITLE :-	
FLOOR LAYOUT	
DRAWN BY :-	
C.J.L.	
DEPARTMENT :-	
EDUCATION LEEDS	
ESTATE MANAGEMENT	
9TH FLOOR WEST	
MERRION HOUSE	
MERRION CENTRE	
LEEDS LS2 8QA	
DRAWING NO :-	DATE :-
.....	OCT 2009
SCALE :-	REV :-
1:250	---



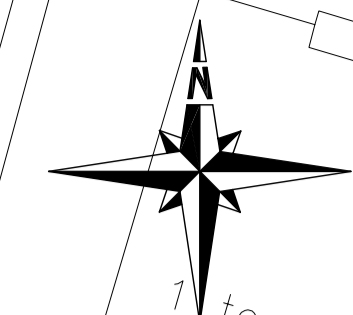


CONDITION SURVEY
This drawing is to be read in conjunction with condition survey dated 28/09/09

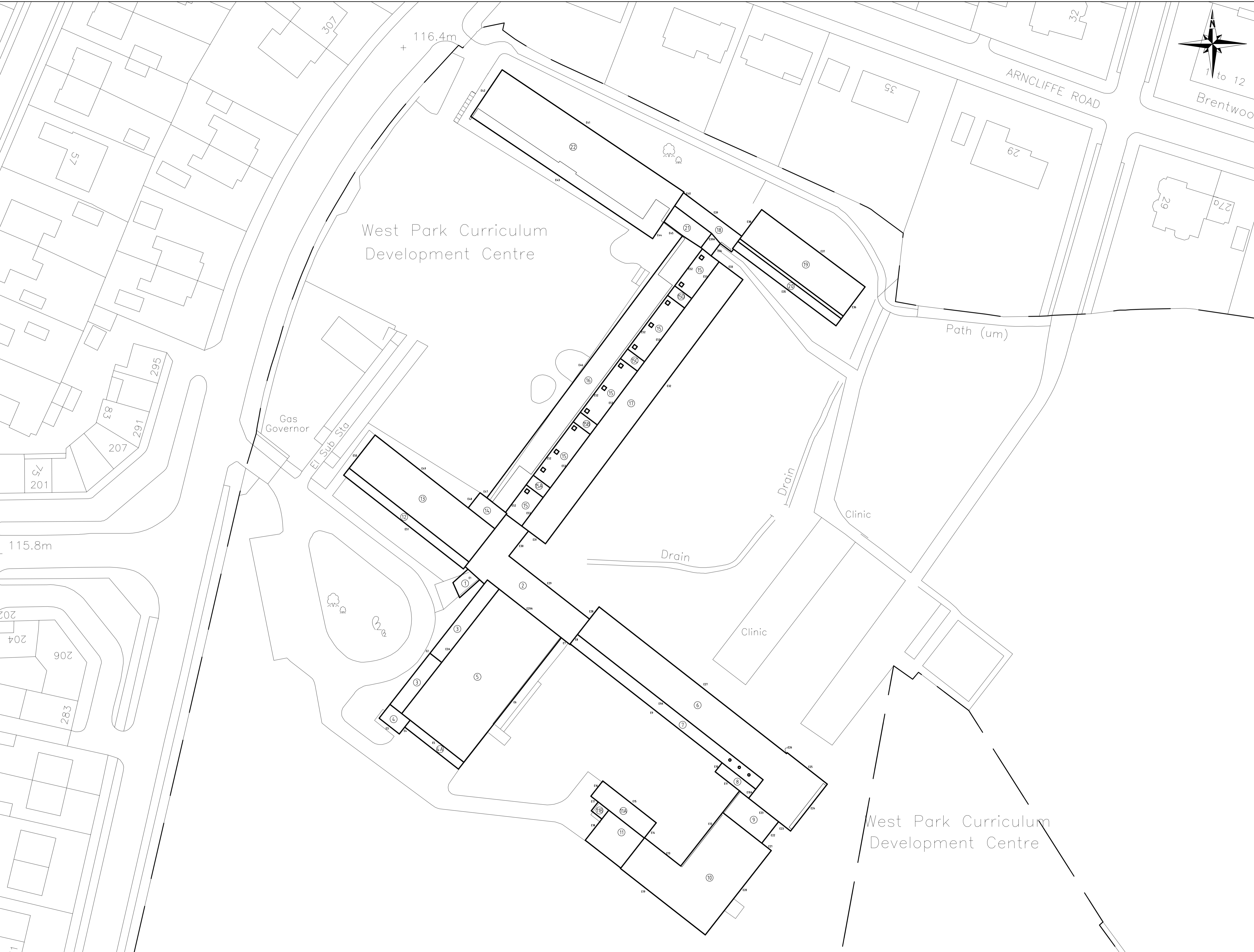
REV	DATE	DESCRIPTION
01	15/10/09	Building footprint updated from the condition survey.

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PROJECT :-	
ASSET MANAGEMENT INFORMATION	
SITE LOCATION:-	
WEST PARK CENTRE	
DRAWING TITLE :-	DRAWN BY
OS SURVEY DETAILS	C.J.L.
DEPARTMENT :-	
EDUCATION LEEDS	
ESTATE MANAGEMENT	
9TH FLOOR WEST	
MERRION HOUSE	
LEEDS LS2 8QA	
DRES NO :-	DATE :-
-	OCT 2009
PLOT SIZE	SCALE :-
A1	N.T.S.
REV	01



Any queries regarding these drawings should be made to Leeds City Council Estate Management Tel 0113 247 5352



CONDITION SURVEY
This drawing is to be read in conjunction with condition survey dated 28/09/09

REV	DATE	DESCRIPTION
01	16/10/09	Minor modification from the condition survey.

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PROJECT :-	
ASSET MANAGEMENT INFORMATION	
SITE LOCATION:-	
WEST PARK CENTRE	
DRAWING TITLE :-	DRAWN BY
ELEVATIONS & ROOF NUMBERS	C.J.L.
DEPARTMENT :-	
EDUCATION LEEDS	
ESTATE MANAGEMENT	
9TH FLOOR WEST	
MERRION HOUSE	
MERRION CENTRE	
LEEDS LS2 8QA	
DRES NO :-	DATE :-
-	OCT 2009
PLOT SIZE	SCALE :-
A1	N.T.S.
REV	01

